

Staff Summary Report



Development Review Commission Date: 11/08/11

Agenda Item Number: ____

SUBJECT: Hold a public hearing for a Planned Area Development Overlay and Development Plan Review for FARMER STUDIOS, located at 464 S. Farmer Avenue.

DOCUMENT NAME: DRCr_Farmer_Studios_102511 PLANNED DEVELOPMENT (0406)

COMMENTS: Request for FARMER STUDIOS (PL110287) (Doug Brown, 500 Fifth LLC, Property Owner; Jason Comer, Architekton, Applicant) consisting of 25 existing residences within approximately 13,524 s.f., 13,537 s.f. of existing offices and a new 13,000 s.f. addition of a two-story office building over ground level covered parking. The approximately 40,061 s.f., on 2.06 net acres is located at 464 S. Farmer Avenue in the MU-4 Mixed Use and R-3 Multi-Family Residential zoning districts. The request includes the following:

PAD11012 (Ordinance No. 2011.51) – Planned Area Development Overlay for development standards to allow a parking reduction from 122 spaces to 101 spaces, a 50 foot building height, 8' setback on 5th Street, 0' setback on Farmer Avenue, 5' setback on the west and north for existing buildings, and a 10' setback for any new development taller than 20', with a required step back above 30' of building height and a landscape area reduction from 25% to 15%.

DPR11160 – Development Plan Review including site plan, building elevations, and landscape plan.

PREPARED BY: Diana Kaminski, Senior Planner (480-858-2391)

REVIEWED BY: Lisa Collins, Community Development Deputy Director (480-350-8989) 

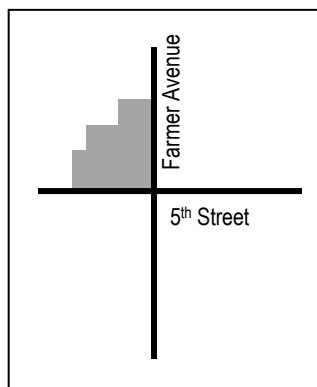
LEGAL REVIEW BY: N/A

DEPARTMENT REVIEW BY: N/A

FISCAL NOTE: The standard development fees, calculated according to the approved fee structure at the time of permit issuance, will be collected for this project.

RECOMMENDATION: Staff – Approval, subject to conditions

ADDITIONAL INFO:



Net site area	2.06 acres
Total Building area	40,061 s.f. (27,061 existing, 13,000 new)
Lot Coverage	50 % (50% maximum allowed)
Building Height	50ft
Building Setbacks	8' front yard setback on 5 th St, 0' street side setback on Farmer Ave., 5' existing side yard (west) setback, and 5' rear yard (north) setback, with new development taller than 20' having a 10' setback and required step back above 30' of building height. (R-3: 20' front, 10' street side, 10' side, 15' rear min.)
Landscape area	15% (R-3: 25% minimum required)
Vehicle Parking	101 spaces (122 min. required, 87 min required if in TOD, 153 max allowed surface)
Bicycle Parking	28 spaces (28 minimum required for both residential and commercial uses)

A neighborhood meeting was held on Wednesday, October 5th on site for this application.

PAGES:

1. List of Attachments
- 2-6. Comments and Project Analysis
6. Reasons for Approval
- 7-10. Conditions of Approval
- 11-12. Ordinance Requirements
- 13-14. History & Facts / Zoning & Development Code Reference

ATTACHMENTS:

- 1-3. Ordinance No. 2011.51
- 4-6. Waiver of Rights and Remedies form
7. Location Map
8. Aerial Photo
- 9-23. Letter of Explanation
24. PAD Cover Sheet A.100
25. Zoning, General Plan and Site Context Maps - Sheet A.101
- 26-27. Site plan – Sheets A.102 & A.103
28. Floor and Roof plans – Sheet A.104
- 29-30. Building Elevations & Sections South & East – Sheet A.105 & A.106
31. Building Elevations & Sections North & West – Sheet A.107
- 32-33. South & East Elevations (with and without existing building) in Color – Sheets A.108 & A.109
34. North & West Elevations in Color – Sheet A.110
35. Sections – Sheet A.111
- 36-37. Landscape Plan – Sheet L.100
38. Materials Sample Board
- 39-45. Neighborhood Meeting Summary

COMMENTS:

This site is located on the north west corner of 5th Street and Farmer Avenue west of Downtown Tempe, south of Tempe Town Lake, and north of University Drive. The site consists of seven lots, six with existing infrastructure. The westernmost five parcels include a group of small single-story apartments built between 1950 and 1978. The eastern corner of the site was built in 2003 as part of a Planned Area Development for a mixed-use project under former Zoning 808 standards. At the time of entitlement of the office building, the property was zoned MG Multi-Use General and development standards were administered by variance. After completion of this building, the property owners acquired the duplexes and four-plexes to the west, with the intention of incorporating these parcels into a future phase of development. The proposed Planned Area Development utilizes these residences as the required residential component to the mixed-use designation of the property, by incorporating the sites into the PAD. Phase 1 of the PAD is the existing office building at the corner, phase 2 will be the proposed new addition to the office building, and phase 3 will be sometime in the future, when the existing housing will be replaced with new housing compliant with all zoning and building codes at the time of development.

Existing entitlements for this property that will remain in effect are: Development Plan Review and variances specific to the office building at 464 S. Farmer are still valid; other prior entitlements will be modified by the proposed new Planned Area Development. A staff level approval of a paint modification was made for the residential units, to unify the overall site.

Existing uses on the site include: retail/office and multi-family residential.

This request includes the following:

1. Planned Area Development standards: parking reduction from 122 spaces to 101 spaces, a 50 foot building height, eight (8) foot setback on 5th Street, zero (0) foot setback on Farmer Avenue, five (5) foot setback on the west and north for existing buildings, and a ten (10) foot setback for any new development taller than twenty (20) feet, with a required step back above thirty (30) feet of building height. By condition bicycle racks will also be added to the residential area to increase bike parking; no additional changes are proposed to the residential component of the site.
2. Development Plan Review which includes: site plan, landscape plan, and elevations for a new two-story building addition over ground floor (podium) parking north of the existing office building. The existing residential development is not a part of this request.

The applicant is requesting the Development Review Commission take action on the Development Plan Review for the MU-4 office addition and provide a recommendation to City Council for the Planned Area Development for the entire site.

For further processing, the applicant will need approval for a Subdivision Plat, to combine the individual lots into one and a Horizontal Regime Subdivision, to create individual for-sale condominium units.

PUBLIC INPUT

- Prior to submittal, the applicant met with two adjacent neighbors to discuss proposed plans.
- September 6th, 2011, the applicant met informally with the Riverside Neighborhood Association at their monthly meeting, to discuss the plans. Seven residents were in attendance. A summary of this meeting is included in the attachments (public meeting summaries) One person expressed opposition to the 0 foot setback on Farmer, and to the location of the elevator shaft and penthouse. The design was modified to address the latter concern.
- A neighborhood meeting is required for the PAD and was held: October 5th, 2011 from 6:00 p.m. to 7:30 p.m. at 464 S. Farmer Avenue. Approximately ten people were in attendance, including one city staff member, three project team members, and six nearby property or business owners. The meeting was held as an open house with individual questions answered by the applicant representatives. Comments were very positive towards the proposed project.
- See attached summary of meeting provided by the applicant.

PROJECT ANALYSIS

The Planned Area Development takes into account the existing conditions of the buildings on site, with the western setback measured from the drip-line of the existing apartment on the west side, the face of the building is at about 8' from the property line. The applicant is asking to keep the existing buildings and propose a different setback for future development, allowing a 5' setback for new construction up to 20' in building height, and 10' setback higher than 20', with the required step back for every foot taller than 30' up to a maximum height of 50'. This allows the existing development to remain, and puts any new development at the same setback as the existing R-3 zoning, with additional height allowed by the new PAD. The residential portion is non-compliant to

required landscape standards, and additional landscape will be added by condition to increase this coverage. A chart on the following pages outlines the existing entitlements on the R-3 and MU-4 portions of the project, the actual existing conditions, what current zoning standards would allow, and what the Planned Area Development proposes to entitle through this process. The applicant is also requesting a reduction in parking requirements, to meet the existing and proposed development needs, which is less than the Zoning Code requirements, but greater than the TOD allowances. The R-3 property is within the TOD; however the MU-4 property is not, due to the existence of a PAD at the time that the TOD standards were adopted.

PLANNED AREA DEVELOPMENT

	EXISTING BUILT CONDITION	ALLOWED EXISTING ZONING		PROPOSED NEW R-3 PAD and MU-4 PAD
		R-3 (TOD CORRIDOR)*	MU-4	
SQUARE FOOTAGE	13,524 s.f. estimated on R-3 structures and 13,537 s.f. MU-4 existing offices.	21,780 s.f.	NS	13,524 residential 13,537 retail/office <u>13,000 new office</u> 40,061 total
DENSITY and (# of dwelling units)	12 du/ac overall on the 2.05 acres: R-3 lots have 25 units and MU-4 lot has 0 units	20 du/ac (20 units)	25 du/ac (per GP2030 density) (26 units)	20 du/ac on R-3 and 25 du/ac on MU-4 no change from zoning code
LOT COVERAGE ¹	31% estimated overall	50%	22% current site	50%
BUILDING HEIGHT ²	18 feet estimated on R-3 sites and 30 feet MU-4 site.	30 feet	30 feet 6 inches	50 feet
BUILDING STEP-BACK ABOVE 30' ADJACENT TO RESIDENTIAL	Not needed	No	Yes	Yes
BUILDING SETBACKS: ³				
FRONT YARD (5th St)	8 feet	20 feet	NS	8 feet
OPEN STRUCTURES	0 feet	15 feet	NS	0 feet
PARKING	20 feet	20 feet	20 feet	20 feet
SIDE YARD (west)	5 feet	10 feet	NS	5 feet existing, 10 feet new buildings 20+ feet in height
OPEN STRUCTURES	5 feet	5 feet	NS	5 feet
REAR YARD (north)	15 feet	15 feet	NS	5 feet existing, 10 feet new buildings 20+ feet in height
STREET SIDE YARD (Farmer Ave)	8 feet	10 feet	NS	0 feet
PARKING	20 feet on R-3 and 8 feet (behind a wall) on MU-4 PAD by variance	20 feet	20 feet	20 feet (if not enclosed)
LANDSCAPE AREA	13% estimated overall, existing R-3 is below standard	25%	NS	15%
VEHICLE PARKING	29 (for 25 residential units) 58 including 6 on-street spaces (for 13,537 sf office space)	.75/bed + .2/unit guest (25 spaces required for existing unit mix)	1/300 office/retail (89 spaces, 66 if in the TOD*)	1 space per studio or bedroom unit, 2 spaces for 2 or 3 bedroom units, and .1 spaces per unit for guests 1 per 350 s.f. for office/retail uses
TOTAL PARKING	87	25	89	29 spaces – residential 72 spaces (66 on-site, 6 on-street) – commercial
		114 parking required for entire site (87 if entire site parked by TOD standards)*		101

BICYCLE PARKING	0 in R-3 and 24 in MU-4 (16 outdoor including 8 indoor spaces)	.95 spaces per unit in bike commute area = 24 spaces	1 per 8,000 sf for office, 1 per 7,500 for retail, minimum of 4 required	Proposed meeting code requirements.
TOTAL BIKE PARKING		28 bike parking spaces required for entire site	28	
¹ The lot coverage is proposed to match the R-3 standards. ² The building height is proposed to increase from 30 feet to 50 feet to accommodate podium parking on the ground floor under two floors of office. A similar concept may be used with the residential site in the future. This building height would comply with the required step back adjacent to residential. ³ The setbacks are being defined based on existing conditions on site, and the surrounding context of newer developments. The right-of-way along 5 th street provides a minimum of 8' of landscape area north of the sidewalk, with an 8' setback, future 5 th Street residences may be located 8' from the property line or 16' from the sidewalk, providing for a landscaped area in front of the units. The existing residences are very close to the property lines, and are only one story. If the new units are built taller than 20 feet, the side yard setback expands to 10 feet, matching the existing R-3 zoning. *existing residences are within the Transportation Overlay District; the existing office development had a PAD prior to the TOD and therefore was exempt from the TOD standards when the TOD was implemented.				

The existing office building under an existing PAD received a variance to reduce the required parking to 52 spaces, and the site is exempt from parking reductions available within the TOD. With the additional office space, required parking would be 89 spaces: 66 spaces if it were in the TOD. The applicant wishes to park the office/retail component at 1 per 350 spaces, and include the 6 on-street parking spaces within the calculation. The existing office has eight exterior bike racks to park 16 bicycles, and has 8 custom indoor racks for employees, providing a total of 24 bike parking spaces, although it is only required to have 4 spaces. The tenants of the building rely heavily on alternative modes of transportation. The residential units currently have no designated outdoor bike parking. Although residents may choose to keep bicycles within their units, to comply with bike parking requirements for the entire site, a minimum of two bike racks will be added to the residential area for guests. If new residential development occurs on this site, additional bike parking to comply with the minimum standards will need to be met.

Section 6-305 D. Approval criteria for P.A.D.:

1. The proposed residential, office and retail uses are allowed in Part 3.
2. The development standards listed above, as established as part of the PAD Overlay District, as well as the standards allowed by use permit in Part 4 will be conformed to for development of this site.
3. The conditions of approval are reasonable to ensure conformance with provisions of the Zoning and Development Code.

DEVELOPMENT PLAN REVIEW

The existing residences have been painted to blend more with the adjacent building. By condition of approval for the Planned Area Development, bicycle racks will be added to meet the minimum requirements for bicycle parking within the overall project. No other changes are being proposed to the R-3 residential properties within the project. At such time that the owners wish to redevelop the site with a new product, a separate Development Plan Review will be required. The proposed project for this process is the addition of office space north of the existing commercial building at the corner of 5th and Farmer. This is a second phase of the project to support existing tenants on site.

Site Plan

The plan provides for no street front changes along 5th Street or Farmer at the pedestrian level, as the new building is a podium structure above the existing site wall. The interior courtyard and parking area will be reconfigured slightly to accommodate the new building addition north of the existing 2 story office building at the south east corner of the site. The new building will run perpendicular to the existing building, maximizing northern light exposure and minimizing the massing along Farmer Avenue. Retention is captured within an amenity courtyard used by tenants.

Building Elevations

The existing building is largely comprised of natural grey concrete masonry units, with large spans of steel tracks and glass, providing moveable sun screens to the space. The new addition will be a warm contrast to this structure, using rust patina finished

corrugated metal siding sealed to prevent color staining on the wall and sidewalk below. From a distance the material may take on the appearance of wood siding, but up close, it will be reflective of the industrial materials once prevalent along the Farmer Avenue corridor, but now used in a new application. The north side of the addition has large spans of glass to allow natural light into the space. Louvers on the east and south side control sunlight and prevent interior glare. There are no windows on the west elevation.

Landscape Plan

The existing street front landscape is to remain. The parking lot will retain as many mature trees as possible; the new plant material will include Desert Museum Palo Verdes, Bougainvilleas, and Aloes. The landscape is very low maintenance and low water use. The parking area has the look and potential function as an outdoor courtyard/patio when not in use for parking.

Section 6-306 D Approval criteria for Development Plan Review

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape; The new building addition will be closer to the street than the existing building, providing a projection out towards Farmer on the second floor. The building orientation is perpendicular to the existing structure, and uses different materials to highlight the massing and dimension of the building from the street front.
2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; Windows on the new building are oriented to the north, with minimal slot openings on the south side, to prevent heat gain inside. The parking area will be partially shaded by the new podium building above ground floor parking. The existing parking lot is decomposed granite with shade trees shading most of the parking area to remain. The courtyard of the existing development will be made smaller by the new building, with the grass retention area remaining as an amenity space for the employees. The walkway between the buildings is a covered breezeway.
3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; The existing concrete masonry building with exposed structural steel is complimented by a patinaed corrugated metal siding that is sealed, materials are low maintenance and left in their natural form.
4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; existing buildings in the area range from 15' tall to 50' tall, the landscape is low-water use. The existing 5th Street side will remain at the current scale and landscape, the massing of the new building is primarily seen on the Farmer Avenue elevation and is the narrow end of the building.
5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; the combined use of materials and floor levels from the existing and new addition provide a variety of masses, materials and depths, with patterns of windows and doors that complement and articulate the overall building mass and rhythm.
6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; The street level along Farmer will not be significantly changed, the building is a podium structure above existing parking, which is screened by an 8' CMU wall. Above the wall, the building will jut out to the property line, and has metal louvers over windows and corrugated metal siding and cement board panels, with a recessed stairwell and breezeway. The building will provide shade to the sidewalk and has variation from the existing grey CMU building.
7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; by proximity, the property is within walking distance of light rail at 3rd Street and Mill Avenue, and 5th Street and College Avenue, it is not within the TOD due to the existing PAD. The existing building has 8 outdoor secured bike parking spaces, and an additional 16 custom bike spaces indoors, the tenants have a long history of support and use of alternative modes of transportation, including residing in the apartments next door and walking to work.
8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; all vehicular circulation is contained on site and limited to one driveway entrance to the property, minimizing conflicts with pedestrians.

9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; the office complex is a secured compound, with clearly defined territorial boundaries, surveillance may occur from windows, if they are not screened with transparent or opaque materials. Windows on the new building will have exterior louvers, allowing reflective light in, and limited views out. All required lighting levels will be met.
10. Landscape accents and provides delineation from parking, buildings, driveways and pathways; Landscape at the street front is limited, all on-site landscape is behind walls, but clearly delineates pathways and parking areas. Landscape is used heavily in the parking area to increase shade.
11. Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.

Conclusion

Based on the information provided by the applicant, the public input received and the above analysis staff recommends approval of the requested Planned Area Development and Development Plan Review. This request meets the required criteria and will conform to the conditions.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The PAD overlay process was specifically created to allow for greater flexibility, to allow for increased heights.
4. The proposed project meets the approval criteria for a Development Plan Review.

PAD11012 CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than January 3, 2012, or the Planned Area Development (PAD) approval shall be null and void.
2. The PAD development standards supersede prior variances for all lots within the PAD are as follows:

Building Height	50 foot maximum building height with a required step-back adjacent to residential uses off-site
Building Setbacks	8' front yard setback on 5 th St, 0' street side setback on Farmer Ave., 5' side yard (west) setback, 10' if new construction exceeds 20' in height, 5' rear yard (north) setback, 10' if new construction exceeds 20' in height
Landscape area	15% minimum
Vehicle Parking	101 spaces for the existing and proposed development shown within the PAD (changes to the PAD will require re-evaluation of parking requirements)
Bicycle Parking	28 spaces distributed between the commercial office and existing residential uses.
3. Previously approved variances are applicable only to the 1.05 acre site of the existing commercial office building:
 - a. Reduce the minimum required landscaping area along the street and front yards from 15' to 0'
 - b. Reduce the minimum required number of trees along the street frontage from the one tree for every 25 linear feet to four trees along Farmer Avenue and two along 5th Street
 - c. Waive the pavement and six inch raised curb required for parking areas and provide crushed rock with stabilizing grid
 - d. Waive the required landscape islands and required tree and groundcovers in the parking area at the end of parking rows and allow tree wells and trees in locations shown on the site plan and landscape plan, respectively.
 - e. Reduce the minimum required driveway distance from the property line from 20 feet to 8 feet.
 - f. Reduce the minimum width required for the landscape strip along the north and west property lines from six feet to three and allow a landscape hedge in lieu of required trees.
4. The proposed PAD does not encroach into the right of way.
5. Provide a minimum of 2 Tempe Standard Detail T-578 within the residential area of the project. Development Plan Review process will be required for this site modification.
6. Add landscape to residential area to comply with a minimum of 15% landscape area overall. Administrative Development Plan Review process required.
7. The proposed PAD identifies all existing residential units to remain unchanged. Future phases of development will require amendment to this PAD.
8. The PAD for FARMER STUDIOS shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of building permits.
9. Any redevelopment of the residential portion of the site will require an amended Subdivision Plat and shall be recorded prior to issuance of building permits for redevelopment of the residences.

DPR11160 CONDITIONS OF APPROVAL

Site Plan

10. A building permit shall be obtained on or before December 1, 2013 or the Development Plan Review approval for this request expires.
11. No changes proposed to sidewalks or right of way.
12. Provide service yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of exterior building mechanical equipment, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. This condition does not apply to utility required transformer boxes located on site.
13. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
14. Existing driveways to remain, no changes proposed. If changes are made, provide upgraded paving at each driveway consisting of unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
15. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
16. Shade canopies for parking areas are existing, if modifications are made to these:
 - a. Provide an 8" fascia for the canopy structure.
 - b. Maximum 75% light reflectance value shall also apply to the top of the canopy.
 - c. Conceal lighting conduit in the folds of the canopy structure and finish conduit to match.

Floor Plans

17. Exit Security:
 - a. Provide visual surveillance by means of fire-rated glazing assemblies from office stair towers into adjacent circulation spaces.
 - b. In instances where an elevator or stair exit in the office or garage is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.
18. Parking:
 - a. Minimize interior partitions to inhibit hiding behind these features.
 - b. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking area.
 - c. Minimum required parking dimensions of new parking spaces shall be clear of any obstructions.
 - d. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall.

Building Elevations

19. The materials and colors are approved as presented:
 - Roof – flat parapet
 - Smooth-faced CMU – Grey
 - Corrugated Metal Siding – weathered patina finish clear sealed
 - Exposed Structural Steel – weathered finish clear sealed
 - Cement Board Panels - Dark warm grey
 - Stucco Smooth Finish - Light French Grey

Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

20. Sealed patina finish shall be maintained to prevent rust staining on wall, sidewalk, and landscape elements along street front.
21. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
22. Conceal roof drainage system within the interior of the building.
23. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
24. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard concealed from public view.
25. Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower (reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated glazing may be considered at these locations.

Lighting

26. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
27. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

28. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
29. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
30. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC 1/2" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than 1/2". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Design irrigation so existing plants on site and in frontages are irrigated as part of the reconfigured system at construction completion. Provide temporary irrigation to existing landscape for period of time that irrigation system is out of repair. Repair existing irrigation system on site or in the adjacent public right of ways where damaged by work of this project.
31. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
32. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite with plastic.

Signage

33. Provide one address sign on the elevation facing the street to which the property is addressed and each elevation not facing the street side yard. Conform to the following for building address signs:
- a. Provide street number only, not the street name
 - b. Compose of 12" high, individual mount, metal reverse pan channel characters.
 - c. Self-illuminated or dedicated light source.
 - d. Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - e. Do not affix number or letter to elevation that might be mistaken for the address.
34. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/planning/documents.htm or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Reviews dated August 10 and September 14, 2011.. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Department will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access standard engineering details at this link: www.tempe.gov/engineering/standard_details.htm or purchase book from the Public Works Engineering Division.
 - Access standard refuse enclosures at this link: www.tempe.gov/bsafety/Applications_Forms/applications_and_forms.htm . The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **COMMUNICATIONS:**
 - For building height of 50'-0", consider design top of building and parapet to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification.
- **WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/bsafety/Applications_Forms/HandoutsFAQs/Water_Consevation.pdf . Contact Public Works Water Department Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **SECURITY REQUIREMENTS:**
 - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage to opportunity for ambush opportunity. Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
 - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
 - Provide method of override access for Police Department to controlled access or gated common areas.
 - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- **FIRE:** Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval. Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

ENGINEERING:

- For the subject property being modified by the DPR, underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements or property restrictions, to ensure no conflicts with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
 - Encroachment Permits must be obtained from the Engineering Department prior to submittal of construction documents for building permit.
- REFUSE: Submit to Solid Waste Division a plan for refuse removal including entry and exit route. Gates must be open from 6:00am to 4:30pm on collection days.
- DRIVEWAYS:
 - Construct new driveways in public right of way in conformance with Standard Detail T-320.
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Traffic Engineering if needed. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- LIGHTING:
 - Design site lighting in accordance with ZDC Part 4 Chapter 8 Lighting and ZDC Appendix E Photometric Plan.
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
- LANDSCAPE:
 - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm. Follow the link to "applications to move a native plant" to "notice of intent to clear land".
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

November 26, 1894	Residential parcels were part of the original town site.
Between 1938-1948	Single-Family Residential zoning changed to Multi-Family zoning designation.
June 7-October 8, 1962	Construction of four-plex apartment located at 408 W. 5 th Street
February 4, 1965	Sewer connection made to four-plex located at 408 and 420 W. 5 th Street.
November 14, 1969	One-story 10-unit apartment complex at 420 W. 5 th Street altered to add apartment in former storage room.
August 2, 1972	Existing single-family home converted into a duplex at 418 W. 5 th Street
May 16, 1978	Final inspection of duplex constructed at 428 W. 5 th Street
1965-1985	Single family, duplex and apartment dwellings located on Farmer Avenue parcels were built, modified and/or removed in 30 year history of the sites.
May 25, 1983	Board of Adjustment approved a variance to waive the required 6' cmu wall and 15 gal. trees 15' on center along a common multi-family property line.
June 22, 1983	Board of Adjustment approved a variance for Victoria & Camelot Apartments to reduce the required sideyard setback on north and south property lines from 7' to 4'6" to accommodate required staircase projection encroaching in setback on 416 and 420 S. Farmer Avenue.
November 9, 1999	Planning Commission held first public hearing for General Plan Amendment from Residential >8 du/ac to Mixed Use and a Zoning Map Amendment to change from R-3 Multi-Family to MG Zoning. Six Commissioners were in opposition and four in support of the proposed change. Residents in neighborhood expressed concerns about encroaching commercial development and intensification of the area, others expressed support for new development and revitalization.
April 12, 2000	Rio Salado Advisory Commission reviewed project and expressed concern with lack of useable open space and landscaping, lack of amenities for employees and architectural character not in context with residential area.
April 25, 2000	Planning Commission approved by 6-0 vote on consent agenda the General Plan Land Use amendment from Residential > than 8 du/ac to Mixed-Use, and a Zoning Amendment from R-3 to MG.
May 17, 2000	Design Review Board approved the site plan, elevations and floorplans for the building at 420 (464) S. Farmer Avenue.
June 15, 2000	<p>City Council approved a General Plan 2020 Amendment , a Zoning Map Amendment, a Planned Area Development for Phase I of the Riverside Mixed Use Development : a three-story building with 10,985 s.f. of retail, 11,551 s.f. of office and 15, 750 s.f. of residential. Phase II would consist of another three-story building with similar uses, bringing the total building area to 79,701 s.f. on 2.04 net acres. Use Permits were also approved for outdoor dining in the MG district, and to allow vehicle and bicycle parking to be parked by peak demand. The following variances were granted:</p> <ol style="list-style-type: none">1. Reduce minimum required front yard setback from 25' to 19' and street side yard setback from 25' to 10' (to 5' for staircase, lobby and covered walkway).2. Waive required landscape strip and on-site street trees along 5th Street and Farmer Avenue to accommodate sidewalk area.3. Reduce minimum required width of landscape buffer between R-3 and MG from 15' to 0' 7', 8'

and 9' along west property line at certain locations and from 15' to 8' along the north property line and from 15' to 5' along the south property line.

4. Reduce the minimum required landscape percentage on site from 15% to 12% at build-out.
5. Allow stabilized decomposed granite in lieu of the required asphalt paving material in the parking lot.
6. Waive required landscape islands at the ends of rows of parking and after every 15 stalls and provide substandard landscape islands (width, area and plant material) at the ends of rows of parking in certain locations of the parking lot.

October 5, 20000	City Council approved a Final Planned Area Development for Phase I consisting of 38,655 s.f. of building.
April 3, 2002	Design Review Board approved building elevations, site plan and landscape plan for a 10,260 sf office building at 464 S. Farmer Avenue.
April 25, 2002	<p>City Council approved a Preliminary and Final Planned Area Development for 10,260 s.f. office building with 8 variances on 1.05 net acres on 464 S. Farmer Avenue. The variances are as follows:</p> <ol style="list-style-type: none">1. Reduce the minimum required front yard building setback from 25' to 0' along 5th street2. Reduce the minimum required street side yard building setback from 25' to 0' along Farmer Avenue3. Reduce the minimum required landscaping area along the street and front yards from 15' to 0'4. Reduce the minimum required number of trees along the street frontage from the one tree for every 25 linear feet to four trees along Farmer Avenue and two along 5th Street (for only the 1.05 acre site addressed as 464 S. Farmer)5. Waive the pavement and six inch raised curb required for parking areas and provide crushed rock with stabilizing grid6. Waive the required landscape islands and required tree and groundcovers in the parking area at the end of parking rows and allow tree wells and trees in locations shown on the site plan and landscape plan, respectively.7. Reduce the minimum required driveway distance from the property line from 20 feet to 8 feet.8. Reduce the minimum width required for the landscape strip along the north and west property lines from six feet to three feet, and allow a landscape hedge in lieu of required trees.
August 8, 2002	City Council approved an Amended Subdivision Plat to combine four existing lots into one lot on 1.05 net acres.
December 24, 2002	Development Services Department Design Review Staff approved request to add two parking canopies to the site.
January 7, 2003	Hearing Officer approved a variance to reduce the required off-street parking from 54 spaces to 52 spaces.
January 20, 2005	City Council approved the new Zoning and Development Code, eliminating MG zoning and implementing the MU zoning classification with a Planned Area Development process for determining development standards. The existing office property was designated MU-4 and the existing residential properties remained R-3.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-304, Zoning Map Amendment
Section 6-305, Planned Area Development (PAD) Overlay districts
Section 6-306, Development Plan Review

ORDINANCE NO. 2011.51

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, AMENDING THE CITY OF TEMPE ZONING MAP, PURSUANT TO THE PROVISIONS OF ZONING AND DEVELOPMENT CODE PART 2, CHAPTER 1, SECTION 2-105.D. PLANNED AREA DEVELOPMENT OVERLAY DISTRICT AND SECTIONS 2-106 AND 2-107, RELATING TO THE LOCATION AND BOUNDARIES OF DISTRICTS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, as follows:

Section 1. That the City of Tempe Zoning Map is hereby amended, pursuant to the provisions of Zoning and Development Code, Part 2, Chapter 1, Section 2-106 and 2-107, by adding a Planned Area Development Overlay to the existing R-3 Multi-Family Residential and MU-4 Mixed-Use districts and designating it as R-3 and MU-4 PAD with a Planned Area Development Overlay on 2.06 acres.

LEGAL DESCRIPTION

AREA 1 OF P.A.D. OVERLAY:

LOT 1, RIVERSIDE, ACCORDING TO BOOK 614 OF MAPS, PAGE 23, RECORDS OF MARICOPA COUNTY, ARIZONA; EXCEPT ALL COAL AND OTHER MINERAL AS RESERVED TO THE STATE OF ARIZONA BY ACT OF CONGRESS DATED JANUARY 25, 1927.

AREA 2 OF P.A.D. OVERLAY:

PARCEL NO. 1:

THE EAST 60 FEET OF THE WEST 336.17 FEET OF LOT 1, TRACT 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA; THEREAFTER AMENDED BY STATE PLAT NO. 12, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, RECORDS OF MARICOPA COUNTY, ARIZONA; AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 23, 1958, IN DOCKET 2605, PAGE 40;

TOGETHER WITH EASEMENT AND RIGHTS INCIDENT THERETO FOR SEWER LINE, DRAINAGE AND OTHER UTILITIES, AS SET FORTH IN INSTRUMENT RECORDED JANUARY 18, 1965, IN DOCKET 5387, PAGE 39, OVER THE FOLLOWING DESCRIBED PROPERTY;

THAT PART OF LOT 1, TRACT 3, STATE PLAT NO. 12 AMENDED, ACCORDING TO THE PLAT OF RECORD IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST BOUNDARY LINE, 5 FEET SOUTH OF THE NORTH BOUNDARY LINE; THENCE EAST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE EAST BOUNDARY LINE; THENCE SOUTH, ALONG THE EAST BOUNDARY LINE, A DISTANCE OF 6 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE WEST BOUNDARY LINE;

THENCE NORTH ALONG THE WEST BOUNDARY LINE, A DISTANCE OF 6 FEET TO THE POINT OF BEGINNING; EXCEPT ANY PART LYING WITHIN THE PROPERTY DESCRIBED IN PARCEL 1 HEREIN.

PARCEL NO. 2:

THE EAST 60 FEET OF THE WEST 336.17 FEET OF LOT 1, TRACT 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA;

THEREAFTER AMENDED BY STATE PLAT NO. 12, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, RECORDS OF MARICOPA COUNTY, ARIZONA; AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 23, 1958, IN DOCKET 2605, PAGE 40;

TOGETHER WITH EASEMENT AND RIGHTS INCIDENT THERETO FOR SEWER LINE, DRAINAGE AND OTHER UTILITIES, AS SET FORTH IN INSTRUMENT RECORDED JANUARY 18, 1965, IN DOCKET 5387, PAGE 39, OVER THE FOLLOWING DESCRIBED PROPERTY;

THAT PART OF LOT 1, TRACT 3, STATE PLAT NO. 12 AMENDED, ACCORDING TO THE PLAT OF RECORD IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST BOUNDARY LINE, 5 FEET SOUTH OF THE NORTH BOUNDARY LINE; THENCE EAST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE EAST BOUNDARY LINE; THENCE SOUTH, ALONG THE EAST BOUNDARY LINE, A DISTANCE OF 6 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE WEST BOUNDARY LINE; THENCE NORTH, ALONG THE WEST BOUNDARY LINE, A DISTANCE OF 6 FEET TO THE POINT OF BEGINNING; EXCEPT ANY PART LYING WITHIN THE PROPERTY DESCRIBED IN PARCEL 2 HEREIN.

PARCEL NO. 3:

THAT PORTION OF LOTS 1 AND 2, TRACT NO. 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, A SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35, THEREAFTER AMENDED BY STATE PLAT NO. 12 AMENDED, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 90 FEET EAST OF THE SOUTHEAST CORNER OF LOT 1, BLOCK 1, VISTA DEL RIO, A SUBDIVISION RECORDED IN BOOK 33 OF MAPS, PAGE 45, RECORDS OF MARICOPA COUNTY, ARIZONA; THENCE EAST 50 FEET; THENCE NORTH 120 FEET; THENCE WEST 50 FEET; THENCE SOUTH 120 FEET TO A POINT OF BEGINNING.

PARCEL NO. 4;

THE EAST 96.17 FEET OF THE WEST 216.17 FEET OF LOT 1, TRACT NO. 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, A SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35; THEREAFTER AMENDED BY STATE PLAT NO. 12 AMENDED, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 5;

LOT 2, TRACT NO. 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, A SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35; THEREAFTER AMENDED BY STATE PLAT NO. 12 AMENDED, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA; EXCEPT THE WEST 120 FEET THEREOF; AND EXCEPT THE EAST 150 FEET THEREOF.

TOTAL AREA IS 2.06 GROSS ACRES.

Section 2. Further, those conditions of approval imposed by the City Council as part of Case **PL110287 PAD11012** are hereby expressly incorporated into and adopted as part of this ordinance by this reference.

Section 3. Pursuant to City Charter, Section 2.12, ordinances are effective thirty (30) days after adoption.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, this 1st day of December, 2011.

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

WHEN RECORDED RETURN TO:

City of Tempe
Development Services Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by DJGJ, LLC and 500 FIFTH, LLC (Owners).

Owners acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL110287** to the City requesting that the City approve the following:

☐ GENERAL PLAN AMENDMENT
☐ ZONING MAP AMENDMENT
☒ PAD OVERLAY
☐ HISTORIC PRESERVATION DESIGNATION/OVERLAY
☐ USE PERMIT
☐ VARIANCE
☐ DEVELOPMENT PLAN REVIEW
☐ SUBDIVISION PLAT/CONDOMINIUM PLAT
☐ OTHER _____
(Identify Action Requested))

for development of the following real property (Property):

Parcel Nos. : 124 32 040D, 124 32 040H, 124 32 041B,
124 32 040G, 124 32 040F, 124 32 040J, 124 32 041D and
124 32 031C
Addresses: 402, 408, 420, 520, 428 W. 5th Street and 464 S. Farmer Avenue.

By signing below, Owners voluntarily waive any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist as a result of the City's approval of the above-referenced Application, including any conditions, stipulations and/or modifications imposed as a condition of approval.

This Waiver shall run with the land and shall be binding upon all present and future owners having any interest in the Property.

This Waiver shall be recorded with the Maricopa County Recorder's Office.

Owners warrant and represent that Owners are the fee title owners of the Properties, and that no other person has an ownership interest in the Property.

Dated this _____ day of _____, 20____.
OWNER: DJGJ, LLC

By Its Duly
Authorized Signatory: _____
Douglas R. Brown
Its: Member

By Its Duly
Authorized Signatory: _____
Gregory B. Lambright
Its: Member

By Its Duly
Authorized Signatory: _____
Joseph M. Salvatore
Its: Member

By Its Duly
Authorized Signatory: _____
John F. Kane
Its: Member

State of Arizona)
) ss.
County of Maricopa)

This instrument was acknowledged before me this _____ day of _____,
20_____ by _____.

Notary Public
My Commission Expires:

(Signature of Notary)

Dated this _____ day of _____, 20____.

OWNER: DJGJ, LLC

By Its Duly
Authorized Signatory: _____
Douglas R. Brown

Its: Member

By Its Duly
Authorized Signatory: _____
Gregory B. Lambright

Its: Member

By Its Duly
Authorized Signatory: _____
Joseph M. Salvatore

Its: Member

By Its Duly
Authorized Signatory: _____
John F. Kane

Its: Member

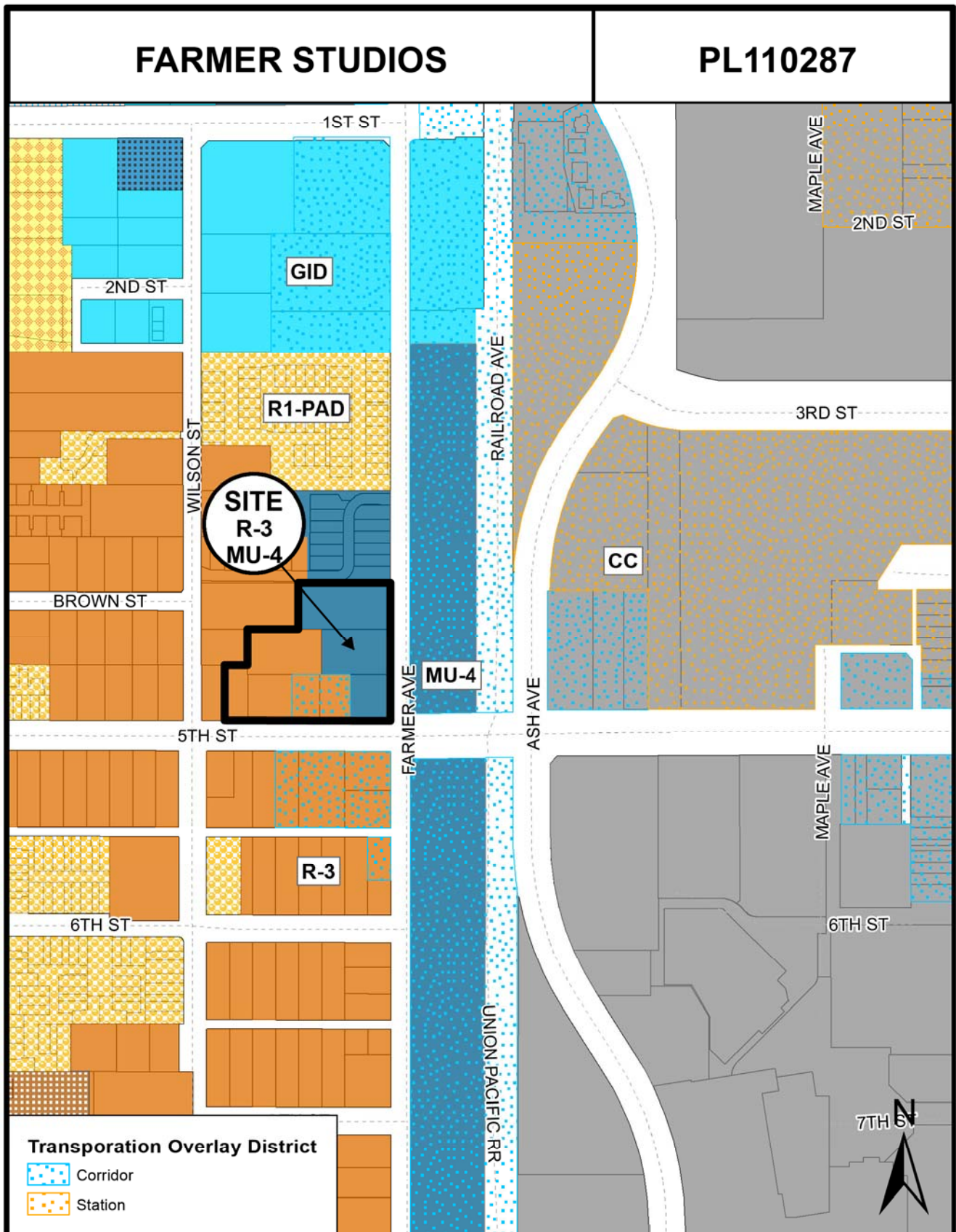
State of Arizona)
) ss.
County of Maricopa)

This instrument was acknowledged before me this _____ day of _____,
20_____ by _____.

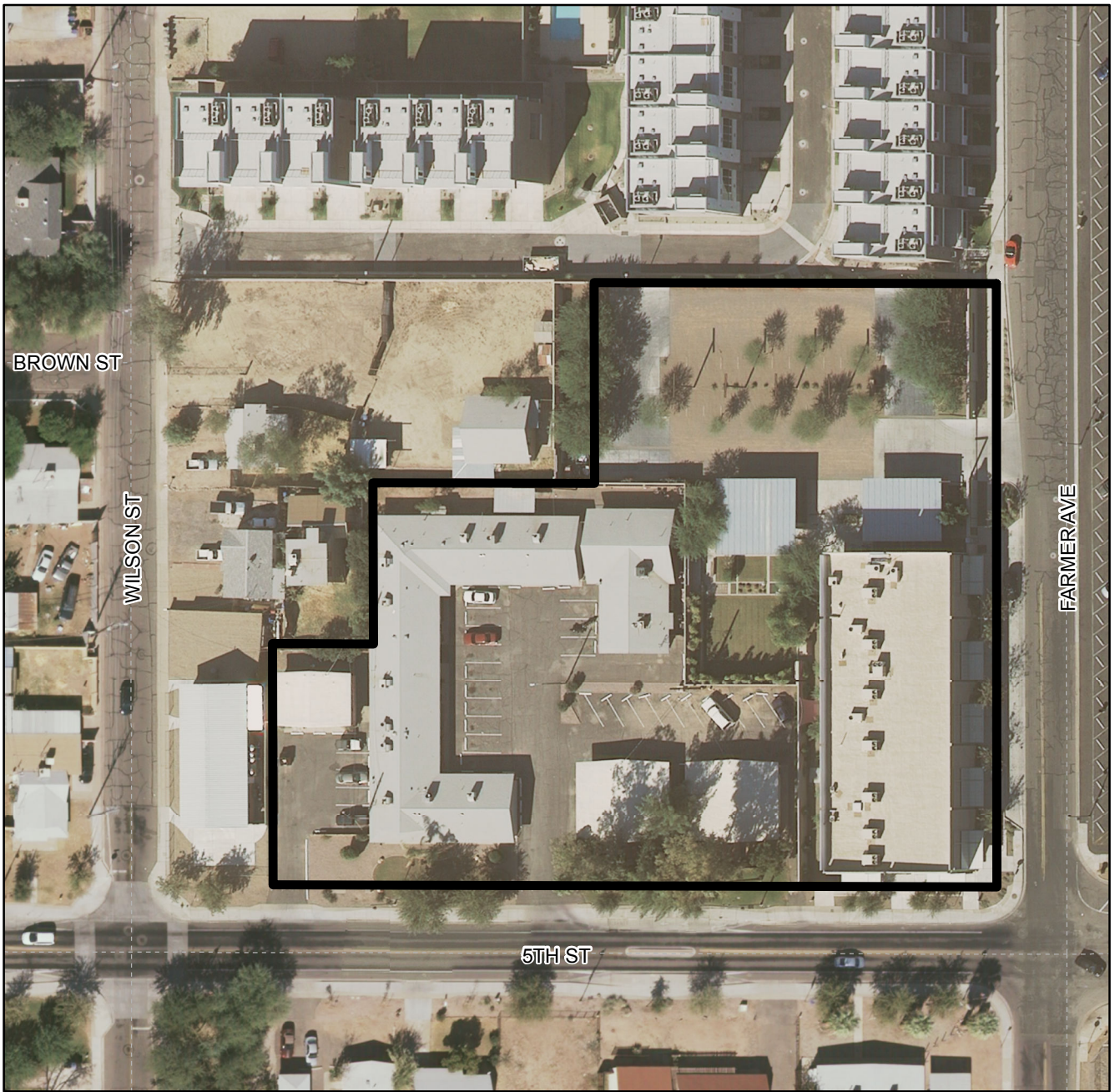
Notary Public
My Commission Expires:

(Signature of Notary)

Dated this _____ day of _____, 20____.



Location Map



FARMER STUDIO (PL110287)

September 22, 2011

Ms. Diana Kaminski, Senior Planner
City of Tempe, Planning Division
31 East 5th Street
Tempe, Arizona 85281

Ms. Kaminski,

On behalf of DJGJ, LLC and 500 FIFTH, LLC, I am pleased to submit this Applicant's Letter of Intent for Farmer Studios II.

PROJECT DESCRIPTION

The proposed project is an expansion of the Farmer Studios development at the northwest corner of Fifth Street and Farmer Avenue, just west of downtown Tempe. The existing Farmer Studios building opened in the spring of 2004 as a creative-class studio space, and since that time has made office and live/work space available for rent to a variety of tenants in the architecture, design and legal professions. This owner-occupied building is currently home to four Tempe-based small businesses: Architekton, a full-service architecture firm; Zion & Zion, a marketing, advertising and public relations firm; Rain Visual Strategy + Design, and the Law Offices of Sender Associates, Chartered. Demand for additional space from current tenants has prompted the current application, which seeks Development Plan Review approval and an amended Planned Area Development Overlay ("PAD") to allow the construction of an approximately 13,000 SF office building ("Farmer Studios II") that will be connected to the existing building.

Farmer Studios has received numerous awards from community and professional organizations, including the Don Hull Award for Environmental Excellence from the Tempe Beautification Awards, the Valley Forward President's Award for Environmental Design, and Merit Awards from the American Institute of Architects (AIA) Arizona and Western Mountain Region chapters. The proposed project seeks to continue this outstanding tradition of environmentally sensitive redevelopment and architectural excellence.

SITE AREA

The Farmer Studios site ("the site") consists of approximately 2.06 acres on two properties. The existing 13,537 SF Farmer Studios building is located on a single 1.01 acre parcel on the northwest corner of Fifth Street & Farmer Avenue. Since that building opened, the adjacent 1.05 acre property to the west was purchased by the same owners, and currently operates as Fifth Street Apartments. That property consists of 25 multifamily residential units in 5 buildings on 5 lots. The two portions of the property are adjoining, but physically separated by an 8 foot tall site wall. Farmer Studios and Fifth Street Apartments operate as separate entities and do not share access, parking, or sanitation services.



- ① **Farmer Studios**
Development Plan Review & Planned Area Development
- ② **Fifth Street Apartments**
Planned Area Development

AREA CONTEXT

The project site is located near the eastern boundary of the Riverside neighborhood where it adjoins downtown Tempe. Generally, the immediate vicinity of the project site is characterized by either newer multifamily condominium projects that have been developed in the past 6 years, or much older single- and multi-family rental projects. There are a number of vacant or uninhabited parcels that are currently awaiting redevelopment, and a number of light industrial buildings to the north.

Across Farmer Avenue to the east is the Farmer Arts District redevelopment project, where a senior housing community is currently under construction. Future phases of development on the Farmer Arts District site call for a mix of uses including residential, retail, office and community uses. The Union Pacific railroad tracks, the traditional dividing line between downtown and the Riverside neighborhood, lie on the eastern boundary of the Farmer Arts District.

Two multifamily properties adjoin the site to the north, including a relatively new 18-unit Farmer Avenue Lofts condominium project that currently operates as a rental community, and several smaller rental structures on Wilson Street. Similar freestanding rental houses are located to the west of the site with frontage on both Fifth and Wilson Streets. Across Fifth Street to the south are a number of single- and multi-family rental units, uninhabited residential structures and vacant properties.



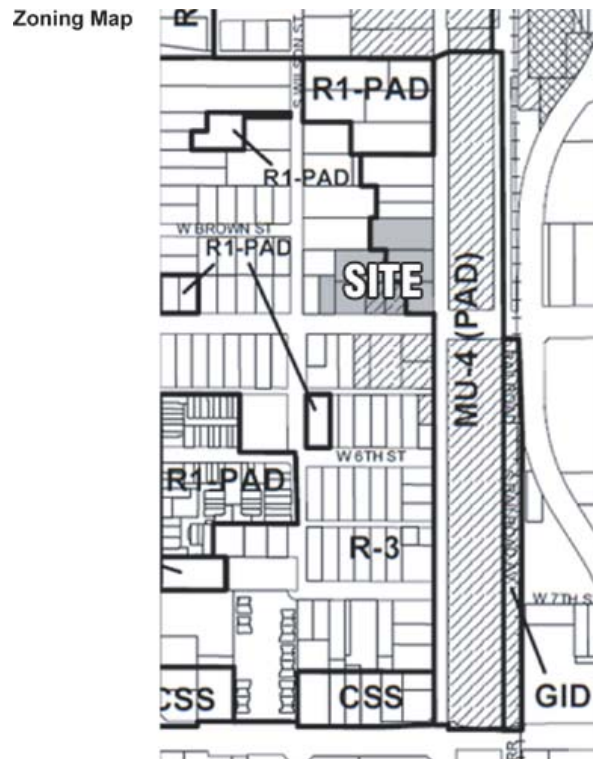
CURRENT ZONING

The eastern portion of the site along Farmer Avenue is currently zoned MU-4, the most intense mixed use zoning district. The western portion of the site containing the Fifth Street Apartments is currently zoned R-3, a medium- to high-density residential zoning district. The existing Farmer Studios building and the proposed addition lie in the former zoning district. Since the existing Farmer Studios building was developed in the obsolete MG zoning district, development standards for the MU-4 portion of the site were not established in the current PAD format. This application does not seek to rezone the property, but does seek to establish development standards across the entire site to guide future development.

Although the existing Farmer Studios building functions as an office use, the building was designed as a flexible live/work space that can function equally well as retail, office, live/work, or residential space. The building is demisable into 5 bays, each with their own HVAC system, restrooms, and sub-metered utilities. Individual bays each have a dedicated storefront and public entrance on the street and a private entrance at rear, allowing them to serve as individual units. The current leasable office setup was envisioned as a transitional use that could adapt over time to provide retail, live/work or residential

opportunities as the neighborhood redevelops. When one of the original tenants relocated in 2008, that suite was offered for lease as office, retail or live/work space and had interest from all three types of users.

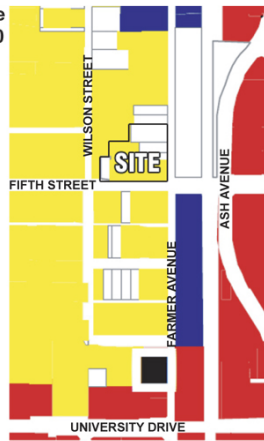
The site is adjoined by the MU-4 district on the northeast and east, and the R-3 district on the northwest, west, and south. There are several projects with R-1 PAD zoning in the vicinity. Typically, recent redevelopment in the immediate area has been approved by way of rezoning to either MU-4 with PAD overlay or to R-1 with PAD overlay.



GENERAL PLAN 2030

The General Plan 2030 identifies the projected land use for the project site as both Mixed-Use and Residential. Residential density is projected to be medium- to high-density (up to 25 dwelling units per acre) across the entire site.

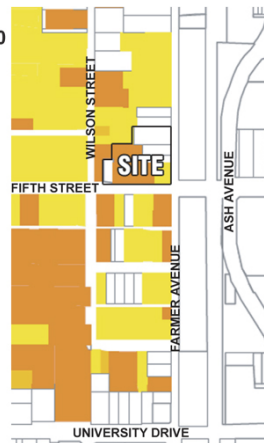
Existing Land Use
General Plan 2030



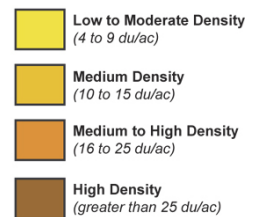
Projected Land Use
General Plan 2030



Existing Density
General Plan 2030



Projected Density
General Plan 2030



The proposed development fulfills the objectives of the General Plan by providing a mix of uses across the whole site, with Office, Retail and Live/Work opportunities along Farmer Avenue and Residential uses along Fifth Street. Organizing the uses on the site in this way recognizes the strong influence that downtown has on Farmer Avenue, while respecting the proximity of the Riverside neighborhood to the west.

SITE CIRCULATION AND PARKING

Currently the two portions of the site operate independently with distinct street frontages and dedicated parking locations.

The eastern portion of the site provides on-street parking along Farmer Avenue with a gated entrance to a parking court to the north. Covered and accessible parking is provided alongside the building, with the parking court stretching to the north property line. Shade is provided by generously sized Desert Museum Palo Verde trees spaced at relatively close intervals, and the use of a traffic-rated permeable gravel paving system contributes to on-site retention while reducing the amount of concrete on the site. These factors contribute to a reduced urban “heat island” effect while providing an aesthetically pleasing parking lot design. The Farmer Studios building is located on the southeast corner of the site, with public pedestrian entrances along both Farmer Avenue and Fifth Street. Private entrances from the parking lot are provided on the west façade of the building. Individual users choose which entrance locations are operable doors and which serve as windows according to their needs; this flexibility allows the building to adapt over time. A sunken courtyard occurs behind the building to the south of the parking lot, and serves as both as an amenity space for informal gatherings and as a storm water detention basin.

The western portion of the site was developed incrementally as apartments over a 20 year time span, and offers several distinct unit types with off-street parking in three configurations. There is a duplex building with parking in the front yard, two four-plex units with parking in the rear yard, and two multi-unit buildings that wrap a parking courtyard. Individual units are exterior-loaded, with pedestrian circulation occurring on all sides. A common painting scheme and shared landscape act as unifying elements.

The proposed addition maintains the existing site layout, while adding a row of parking spaces to the existing Farmer Studios parking court. New elevator and stair access to the upper floors of the addition would occur near the sunken courtyard, and a connection would be made to the existing building’s mezzanine level near the elevator to provide increased accessibility. Additional exiting from the addition would be provided near the parking court entrance. With the exception of relocated electrical transformers and switchgear, the western portion of the site would be unaffected by the proposed addition.

The proposed parking standards are designed to take advantage of the project’s unique urban context while meeting the needs of tenants and visitors. The project site is located near downtown Tempe, only 3 blocks west of Mill Avenue. As such, there are a variety of transit options available including Valley Metro bus service, Orbit shuttle service, and Valley Metro Light Rail. Although the site has not opted into the Transportation Overlay District (TOD), it is located close enough to an existing light rail station to qualify as a development within the TOD Corridor Area. The site is in an extremely walkable neighborhood, with many nearby opportunities for live, work and play. In addition to the location itself, a number of features are incorporated in the proposed project to encourage the use of alternative transportation choices (see “Building Design”).

Currently the site functions as two independent developments, with separate dedicated parking for both the Fifth Street Apartments and the existing Farmer Studios building. The table below represents the existing conditions on site as compared to the City of Tempe Zoning and Development Code (ZDC) requirements:

Existing project in relation to standard ZDC requirements

Use	Existing Units/Area	Existing Spaces	Existing Ratio	Spaces Required
Residential	25 units	29 spaces	1 spaces per studio unit 1.5 spaces per 1BR unit 2 spaces per 2BR unit 2.5 spaces per 3BR unit 0.2 guest spaces per unit	38 spaces
Office / Retail	13,645 SF	58 spaces	1 per 300 SF	45 spaces
Total		87 spaces		83 spaces

The Fifth Street Apartments have 29 parking spaces for 25 units (10 studio, 14 one-bedroom, and 1 two-bedroom units). Although this is below the code requirement of 38 spaces, the complex has functioned successfully in this configuration since the 1970s with adequate on-site parking for all tenants. No changes are proposed for this portion of the site, and the proposed parking ratios have been devised to meet the existing condition. The existing Farmer Studios building provides 58 spaces for 13,645 SF, which exceeds the code requirement of 1 space per 300 SF. This portion of the site was developed prior to the construction of light rail and the Orbit systems, and preceded the adoption of the TOD standards.

The proposed PAD seeks to establish a parking ratio that roughly splits the difference between the standard ratios found in the ZDC and the TOD requirements. The following two tables represent the proposed project in relation to both of those standards:

Proposed project in relation to standard ZDC requirements

Use	Proposed Units/Area	Proposed Spaces	Proposed Ratio	Spaces Required
Residential	25 units	29 spaces	1 spaces per studio unit 1.5 spaces per 1BR unit 2 spaces per 2BR unit 0.2 guest spaces per unit	38 spaces
Office / Retail	25,202 SF	72 spaces	1 per 300 SF	84 spaces
Total		101 spaces		122 spaces

Proposed project in relation to TOD requirements

Use	Proposed Units/Area	Proposed Spaces	Parking Ratio under TOD	Spaces Required
Residential	25 units	29 spaces	0.75 spaces per bedroom 0.2 guest spaces per unit	24 spaces
Office / Retail	25,202 SF	72 spaces	1 per 300 SF (25% of floor area waived)	63 spaces
Total		101 spaces		87 spaces

The proposed project would be under-parked by 21 spaces under the standard code requirements and over-parked by 14 spaces under the TOD requirements. The Amended PAD proposes a standard that would bridge the gap between these requirements by setting a residential parking standard based on the existing conditions, and setting an office/retail standard midway between the ZDC and TOD requirements. The proposed PAD standards are represented in the following table:

Proposed parking standards under PAD

Use	Proposed Units/Area	Proposed Spaces	Proposed Ratio	Spaces Required
Residential	25 units	29 spaces	1 spaces per studio or 1BR unit 2 spaces per 2BR or 3BR unit 0.1 guest spaces per unit	29 spaces
Office / Retail	25,202 SF	72 spaces	1 per 350 SF	72 spaces
Total		101 spaces		101 spaces

These standards are supported by several features that have been incorporated into the project to encourage a variety of transportation choices. This project is technically within the geographic limits of the Transportation Overlay District's corridor area, although it was not formally incorporated into the TOD by reason of the previously existing PAD overlay (which occurred only a couple of years before light rail was implemented). The site is approximately 1,500 feet to the downtown light rail station (as measured in a likely pedestrian route), and is located along the Orbit shuttle route on Fifth Street.

In addition to mass transit options, motorcycle and scooter use is encouraged by providing dedicated parking spaces for these high-efficiency transportation options. Bicycle use is encouraged by providing more than the required number of bike parking spaces near entrances, by providing hanging bicycle storage in the existing building that allows users to bring their bikes inside, and by providing shower facilities for those who bike, run or walk to work in warmer weather.

Anecdotal evidence indicates that these features have a measurable effect on the site's parking demands. The applicant's office employs 36 full time staff, 9 of which commute to work on bicycles on a regular basis. Two other employees regularly utilize light rail to commute to work, and two other employees carpool. One employee regularly commutes via scooter or motorcycle, and another employee lives on site at the Fifth Street Apartments and walks to work every day. Additionally, at any given time a number of employees are working away from the office, either on job sites or through telecommuting.

By providing a broad based approach that augments the site's geographic proximity to transit with several design features meant to encourage alternative forms of transportation, this project has a lower parking demand than a similarly-sized project might in a more suburban location. This proposed ratio will meet the expected needs of the project's current and future tenants and visitors, while promoting a sustainable lifestyle that takes advantage of the many transportation options available in downtown Tempe.



POLICE AND SANITATION

The existing Farmer Studios building employs a number of security strategies that will remain in effect. These include exterior security cameras, an alarm system, site lighting on a timer system, and automatic gates that close during non-business hours. Since the proposed addition primarily consists of office space on the second and third floors supported by columns, there are limited access points and means of entry. Access to stairs and the elevator occurs inside the perimeter walls via an exposed exterior circulation system that is highly visible to other site users.

Refuse and recycling containers for the Farmer Studios building are currently located at the southwest corner of the parking court. Sanitation vehicles enter the parking court on the southeast from Farmer, proceed west to the pickup location, and then circle the parking lot clockwise to exit the site. The proposed site plan relocates refuse to the northeast corner of the parking lot, and a maneuvering lane has been provided in accordance with Figure 4-502.G of the City of Tempe Zoning Ordinance.

The operation of the Fifth Street Apartments as it relates to Police and Sanitation services will be unaffected by the proposed building addition.

ZONING AND PAD STANDARDS

The overall site design strategy for Farmer Studios is based on increasing density in a contextually sensitive manner, pulling buildings to the sidewalk to engage the street, and locating parking and services to the interior of the site away from public view. With these principles in mind, this application proposes the following Planned Area Development Overlay standards.

Proposed Development Standards

Standard	Proposed PAD
Residential Density	Medium to High Density (up to 25 du/ac)
Minimum Lot Area per Dwelling Unit	NS
Building Height Maximum	50 feet
Building Height Step-Back Required Adjacent to SF or MF District	Yes (1)
Maximum Lot Coverage	50%
Minimum Landscape Area	15%
Front Setback (Fifth St)	8 feet
Parking Setback	20 feet (3)
Street Side Setback (Farmer Ave)	0 feet
Parking Setback	20 feet (3)
Side Setback (West)	5 feet (1)(2)
Rear Setback (North)	5 feet (1)(2)

(1) - Applies to perimeter property lines only, does not apply to property lines internal to the PAD area

(2) - Increases to 10 feet for new buildings greater than 20 feet in height

(3) - Unless fully screened by building or site wall

These standards are compatible with the walkable, urban nature of the area immediately surrounding the site, and are reflective of recent development trends in the neighborhood. The two recent multifamily developments to the immediate north of the site are also 3-story developments, and the housing project currently under construction across the street on the Farmer Arts District site is a 5-story project. Heights in the 40-60 foot range are contextually appropriate for this location, and the proposed project acknowledges that. Additionally, the proposed setbacks are intended to pull buildings to the street to create a walkable urban interface along Fifth Street and Farmer Avenue. Cars are relegated to the rear of the site, while pedestrians are given priority along the street edge. This is the opposite of the typical suburban model, where low slung buildings are set deep inside the site, while pedestrians are left in a no-man's land between traffic and parking lots. We feel these standards will create a desirable street atmosphere that will continue to promote a walkable community.

The following chart compares the proposed PAD standards with the several similar zoning districts:

Comparative Zoning Table

Standard	Proposed PAD	MU-4	R-3	PCC-1
Residential Density	Medium to High Density (up to 25 du/ac)	High Density (greater than 25 du/ac)	Medium to High Density (up to 20 du/ac)	Medium Density (up to 15 du/ac)
Minimum Lot Area per Dwelling Unit	NS	NS	2,180 SF	NS
Building Height Maximum	50 feet	NS	30 feet	35 feet
Building Height Step-Back Required Adjacent to SF or MF District	Yes (1)	Yes	No	Yes
Maximum Lot Coverage	50%	NS	50%	50%
Minimum Landscape Area	15%	NS	25%	15%
Front Setback (Fifth St)	8 feet	NS	20 feet	0 feet
Parking Setback	20 feet (3)	20 feet	20 feet	20 feet
Street Side Setback (Farmer Ave)	0 feet	NS	10 feet	0 feet
Parking Setback	20 feet (3)	20 feet	20 feet	20 feet
Side Setback (West)	5 feet (1)(2)	NS	10 feet	30 feet
Rear Setback (North)	5 feet (1)(2)	NS	15 feet	30 feet

(1) - Applies to perimeter property lines only, does not apply to property lines internal to the PAD area

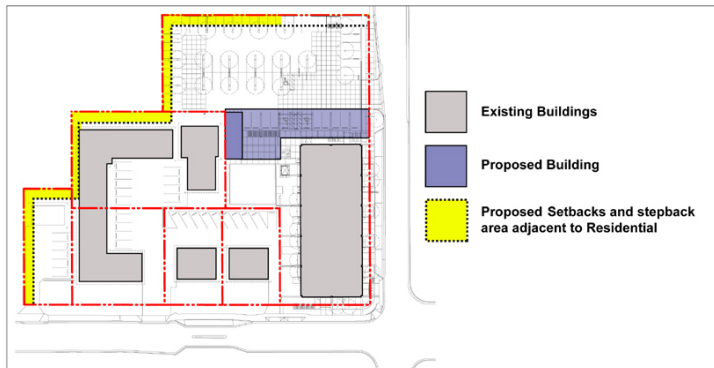
(2) - Increases to 10 feet for new buildings greater than 20 feet in height

(3) - Unless fully screened by building or site wall

The following diagram illustrates where the rear and side yard setbacks on the perimeter property line occur. Where adjacent to a residential district, the a building stepback regime would also apply to these perimeter setbacks per Section 4-404 of the City of Tempe Zoning Ordinance. It should be noted that this application seeks to exempt interior property lines inside the application area from both setback requirements and the Building Height Step-Back Requirement. Existing structures straddle the property line in one instance, so setbacks along internal property lines are simply not feasible.

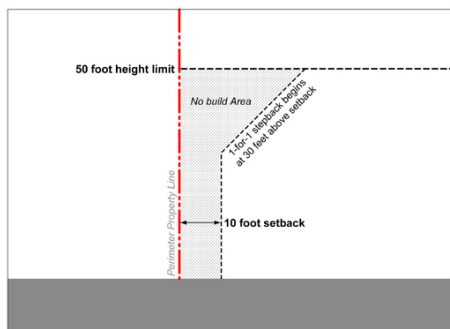
Setback and building step-back requirements would only apply to the perimeter of the PAD Overlay application area. This will serve to protect neighboring residential developments from adverse effects while providing the flexibility needed to develop the subject property, and account for existing conditions.

Setback diagram



Existing buildings in Area 2 of the site are as close as 5 feet away from perimeter property lines, which is the rationale for the proposed 5 foot side and rear yard setbacks. In order to protect neighboring developments from adverse effects, the PAD proposes that the 5 foot side and rear setbacks be increased to 10 feet if buildings greater than 20 feet in height are constructed. This is compatible with the side yard setback requirement in the R-3 district, and taken with the building setback requirements in Section 4-404 provide a buffer between the project area and adjacent residential districts. The 10 foot setback and setback requirements are illustrated below. The shaded area between the perimeter property line and the setback/setback lines illustrates a no-build buffer area.

Stepback diagram



Proposed stepback regime along perimeter property lines where adjacent to residential districts. Would apply for all new buildings greater than 20 feet in height.

The existing Farmer Studios building received variances for 0 foot setbacks on both the Fifth Street and Farmer Avenue frontages. The face of the existing building is set back 8 feet from the property line, with some site walls and overhead canopies extending to the property line. The proposed PAD standards incorporate the existing 0 foot setback along Farmer Avenue. The proposed addition would cantilever overhead to the property line on Farmer Avenue just as the existing canopies do today. The proposed building does not have a ground floor along Farmer Avenue; this projection would occur on the second and third stories. On the Fifth Street frontage, the proposed PAD standard of 8 feet matches the existing Farmer Studios building, and represents an increase as compared to the existing 0 foot setback.

Existing buildings in Area 2 of the site are as close as 5 feet away from perimeter property lines, which is the rationale for the proposed 5 foot side and rear yard setbacks. In order to protect neighboring developments from adverse effects, the PAD proposes that the 5 foot side and rear setbacks be increased to 10 feet. The front yard setback along Fifth Street is proposed at 8 feet to match the adjacent Farmer Studios building.



BUILDING DESIGN

Farmer Studios II is envisioned as a levitated volume carefully inserted into an existing three dimensional context. The overall composition is meant to be sympathetic to the original Farmer Studios building and to draw selected rhythms, regulating lines, and façade design strategies from the original building while clearly maintaining a distinct character.


The public façade of the original Farmer Studios building was conceptualized as a series of inverted "L"-shaped masonry panels held slightly apart by slivers of floor to ceiling glass. The negative space of the inverted "L" panels were filled with a storefront glass system, and protected with operable translucent screening panels. These wall sections repeat to form a simple rectangular volume, with corner connections also composed of thin glazed voids. The apparent drama of these 12 perimeter cantilevered masonry masses joined by thin bands of glass provides a subtle tension to an otherwise simple, "dumb" box. The masonry construction of the original Farmer Studios building gives an especially heavy and grounded perception of the building that is reinforced on the ground plane, where the regulating lines of the construction are telegraphed as score lines in the sidewalks and horizontal concrete work.

The design of Farmer Studios II is intended to suggest a compatible contrast with the original structure. Where the original building is grounded, the addition "floats". Durable, high quality light gauge corrugated metal cladding is substituted for masonry, and the corrugations of the panels mimic the subtle texture of the raked joints found on the sandblasted walls of the original structure. The color of the metal panels is intended to match the raw, exposed structural steel framing of the original building. The familiar inverted "L" is evident in the organization of the metal panels, and glazing fills the negative space of the "L". The broad north façade is broken down into smaller segments with thin bands of floor to ceiling glass, as in the original building. Physical connections to the existing building specifically occur only on axis with existing entrance doors or stair landings, and the steel detailing at these joints is crafted to mimic the original construction. The regulating lines of the original building are transmitted through the addition as another subtle reference.

Precedent for these material choices can be traced to the area's history as a railroad siding and semi-industrial area. Existing projects such as the Studio Productions warehouse building and the Millstones condominium project, both near First Street on Farmer Avenue, both employ metal cladding both as corrugated galvanized panels and as reddish-brown standing seam panels. The Millstones and the adjacent Farmer Avenue Lofts both utilize exposed CMU as a primary material. The original Farmer Studios building and the Studio Productions building both use standard anodized aluminum storefront window systems in novel ways. The use of standard, raw materials and in unique and creative ways is key to the vision of Farmer Studios II.

The massing of the proposed addition is directly responsive to our environment, with extremely narrow facades and minimized glazing on the east and west exposures where intense summer heat gain is hardest to control. Where glass does occur on the south façade, it is either protected by the existing building or by deep overhangs and exterior screening elements. The north façade takes advantage of narrow bay depth by opening up to daylight the space with the even, cool light of the northern sky. Vertical fins on the north and east façade provide variation and also act as shading devices.

The building is long but thin, which allows workstations to be located near windows. This provides occupants with a visual connection with the surrounding environment throughout the day. The intimate, daylit spaces inside Farmer Studios II are meant to evoke the creative, fun atmosphere you might find in a child's treehouse – a clear attribute for a building housing creative-class professionals.



Site design for vehicles and pedestrians is based on the existing layout, with separate controlled-access gates for pedestrian / bicycle traffic and automobiles. The pedestrian and bicycle paths lead directly to the main stairs and elevator without crossing vehicle traffic in order to minimize conflicts between people and cars. With the exception of a small shop and storage room on the ground floor, access to the new structure occurs via exterior landings on the second and third floor. This clearly exposed and well-lit circulation system creates visual interest and promotes security while providing an intuitive path of travel for visitors. Natural surveillance is promoted near stairs and elevators by placing additional windows at these locations.

The project meets the Americans with Disabilities Act (ADA) requirements in terms of parking, universal access, and site design. The new elevator has been located to serve both the addition and the original building in order to increase accessibility for current tenants and visitors on the mezzanine level. Three accessible parking spaces are provided near the entrance for building occupants and their guests. An accessible ramp is provided to the sunken courtyard to provide access to all areas of the site.

JUSTIFICATIONS FOR THIS REQUEST

The proposed project:

- Fulfills the goals of the General Plan 2030 by providing a mix of uses on the site, while maintaining a residential buffer towards the Riverside neighborhood
- Continues the redevelopment and revitalization of the Farmer Avenue corridor that the original Farmer Studios building began in 2004
- Activates the street frontage with a pedestrian-oriented design by pulling buildings to the sidewalks and moving parking to the interior of the site
- Affords increased employment opportunities for the residents of Tempe, and retains a growing Tempe-based small business in our community
- Enhances the design character of the neighborhood through award winning architecture and contextually sensitive, environmentally sustainable design
- Employs site design and massing strategies to mitigate power consumption and maximize naturally daylit spaces
- Greatly exceeds the required landscape standards for tree cover in parking areas, employs innovative water runoff management strategies, and reduces the urban heat island effect through sustainable site design
- Promotes multi-modal transportation options by employing a comprehensive strategy to encourage non-automobile transit options

Respectfully submitted,



Jason Comer, LEED-AP
ARCHITEKTON
Applicant

PLANNED AREA DEVELOPMENT FARMER STUDIOS

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED DOUGLAS BROWN, OWNER; JOHN KANE, OWNER; GREGORY LAMBRIGHT, OWNER; AND JOSEPH SALVATORE, OWNER, WHO ACKNOWLEDGED THEMSELVES TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY: _____
NOTARY PUBLIC MY COMMISSION EXPIRES _____

NOTARY PUBLIC OFFICIAL SEAL

DJGJ, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY:

BY: _____
DOUGLAS BROWN, OWNER DATE

BY: _____
JOHN KANE, OWNER DATE

BY: _____
GREGORY LAMBRIGHT, OWNER DATE

BY: _____
JOSEPH SALVATORE, OWNER DATE

500 FIFTH, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY:

BY: _____
DOUGLAS BROWN, OWNER DATE

BY: _____
JOHN KANE, OWNER DATE

BY: _____
GREGORY LAMBRIGHT, OWNER DATE

BY: _____
JOSEPH SALVATORE, OWNER DATE

LEGAL DESCRIPTION

AREA 1 OF P.A.D. OVERLAY:

LOT 1, RIVERSIDE, ACCORDING TO BOOK 614 OF MAPS, PAGE 23, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT ALL COAL AND OTHER MINERAL AS RESERVED TO THE STATE OF ARIZONA BY ACT OF CONGRESS DATED JANUARY 25, 1927.

AREA 2 OF P.A.D. OVERLAY:

PARCEL NO. 1:

THE EAST 60 FEET OF THE WEST 336.17 FEET OF LOT 1, TRACT 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA;

THEREAFTER AMENDED BY STATE PLAT NO. 12, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, RECORDS OF MARICOPA COUNTY, ARIZONA; AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 23, 1958, IN DOCKET 2605, PAGE 40;

TOGETHER WITH EASEMENT AND RIGHTS INCIDENT THERETO FOR SEWER LINE, DRAINAGE AND OTHER UTILITIES, AS SET FORTH IN INSTRUMENT RECORDED JANUARY 18, 1965, IN DOCKET 5387, PAGE 39, OVER THE FOLLOWING DESCRIBED PROPERTY;

THAT PART OF LOT 1, TRACT 3, STATE PLAT NO. 12 AMENDED, ACCORDING TO THE PLAT OF RECORD IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST BOUNDARY LINE, 5 FEET SOUTH OF THE NORTH BOUNDARY LINE;

TENENCE EAST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE EAST BOUNDARY LINE;

TENENCE SOUTH, ALONG THE EAST BOUNDARY LINE, A DISTANCE OF 6 FEET;

TENENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE WEST BOUNDARY LINE;

TENENCE NORTH ALONG THE WEST BOUNDARY LINE, A DISTANCE OF 6 FEET TO THE POINT OF BEGINNING;

EXCEPT ANY PART LYING WITHIN THE PROPERTY DESCRIBED IN PARCEL 1 HEREIN.

PARCEL NO. 2:

THE EAST 60 FEET OF THE WEST 336.17 FEET OF LOT 1, TRACT 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA;

THEREAFTER AMENDED BY STATE PLAT NO. 12, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, RECORDS OF MARICOPA COUNTY, ARIZONA; AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 23, 1958, IN DOCKET 2605, PAGE 40;

TOGETHER WITH EASEMENT AND RIGHTS INCIDENT THERETO FOR SEWER LINE, DRAINAGE AND OTHER UTILITIES, AS SET FORTH IN INSTRUMENT RECORDED JANUARY 18, 1965, IN DOCKET 5387, PAGE 39, OVER THE FOLLOWING DESCRIBED PROPERTY;

THAT PART OF LOT 1, TRACT 3, STATE PLAT NO. 12 AMENDED, ACCORDING TO THE PLAT OF RECORD IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST BOUNDARY LINE, 5 FEET SOUTH OF THE NORTH BOUNDARY LINE;

TENENCE EAST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE EAST BOUNDARY LINE;

TENENCE SOUTH, ALONG THE EAST BOUNDARY LINE, A DISTANCE OF 6 FEET;

TENENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH BOUNDARY LINE TO THE WEST BOUNDARY LINE;

TENENCE NORTH, ALONG THE WEST BOUNDARY LINE, A DISTANCE OF 6 FEET TO THE POINT OF BEGINNING;

EXCEPT ANY PART LYING WITHIN THE PROPERTY DESCRIBED IN PARCEL 2 HEREIN.

PARCEL NO. 3:

THAT PORTION OF LOTS 1 AND 2, TRACT NO. 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, A SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35, THEREAFTER AMENDED BY STATE PLAT NO. 12 AMENDED, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 90 FEET EAST OF THE SOUTHEAST CORNER OF LOT 1, BLOCK 1, VISTA DEL RIO, A SUBDIVISION RECORDED IN BOOK 33 OF MAPS, PAGE 45, RECORDS OF MARICOPA COUNTY, ARIZONA;

TENENCE EAST 50 FEET;

TENENCE NORTH 120 FEET;

TENENCE WEST 50 FEET;

TENENCE SOUTH 120 FEET TO A POINT OF BEGINNING.

PARCEL NO. 4:

THE EAST 96.17 FEET OF THE WEST 216.17 FEET OF LOT 1, TRACT NO. 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, A SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35; THEREAFTER AMENDED BY STATE PLAT NO. 12 AMENDED, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 5:

LOT 2, TRACT NO. 3, SUPPLEMENTAL PLAT OF STATE PLAT NO. 4, A SUBDIVISION RECORDED IN BOOK 20 OF MAPS, PAGE 35; THEREAFTER AMENDED BY STATE PLAT NO. 12 AMENDED, A SUBDIVISION RECORDED IN BOOK 69 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE WEST 120 FEET THEREOF; AND

EXCEPT THE EAST 150 FEET THEREOF.

PROJECT DATA

ZONING DISTRICT: MU-4 WITH PLANNED AREA DEVELOPMENT OVERLAY

DENSITY: MAXIMUM OF 25 DU/AC
52 UNITS, 2.06 ACRES

BUILDING HEIGHT: MAXIMUM OF 50 FEET

BUILDING LOT COVERAGE: 50%

SITE LANDSCAPE COVERAGE: 15%

BUILDING SETBACKS
FRONT (SOUTH) 8 FEET
SIDE (WEST) 5 FEET*
REAR (NORTH) 5 FEET*
STREET SIDE (EAST) 0 FEET

*10 FEET FOR NEW STRUCTURES GREATER THAN 20 FEET IN HEIGHT

VEHICLE PARKING QUANTITY: 101 SPACES

BICYCLE PARKING QUANTITY: 28 SPACES

OWNER/DEVELOPER

DJGJ, L.L.C.; 500 FIFTH, L.L.C., OWNERS
464 SOUTH FARMER AVENUE, SUITE 101
TEMPE, ARIZONA 85281

CONTACT: JASON COMER, APPLICANT
ARCHITEKTON
(480) 894-4637
jason.comer@architekton.com

CONDITIONS OF APPROVAL

INTENTIONALLY BLANK

GENERAL NOTES

VARIANCES GRANTED IN 2003:

SETBACKS REDUCED TO 0 FEET ALONG FIFTH STREET AND FARMER AVENUE

REQUIRED NUMBER OF TREES SET AT FOUR TREES ALONG FARMER AND 2 TREES ALONG FIFTH STREET

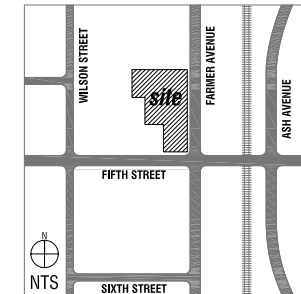
RAISED CURB, PAVEMENT, TREE COVER AND LANDSCAPE ISLAND REQUIREMENTS WAIVED IN PARKING AREA TO ALLOW PERMEABLE GRAVEL PAVE SYSTEM

MINIMUM REQUIRED DRIVEWAY DISTANCE REDUCED TO 8 FEET

MINIMUM LANDSCAPE STRIP ALONG NORTH AND WEST PROPERTY LINES REDUCED AND LANDSCAPE HEDGE ALLOWED IN LIEU OF REQUIRED TREES

REQUIRED NUMBER OF PARKING SPACES REDUCED FROM 54 TO 52

VICINITY MAP



464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4637
F 480.894.4638
www.architekton.com

ARCHITEKTON

Farmer Studios
Phase II
NWC Fifth Street & Farmer Avenue



DATE ISSUED: 09.27.2011

DRAWN BY: JJC

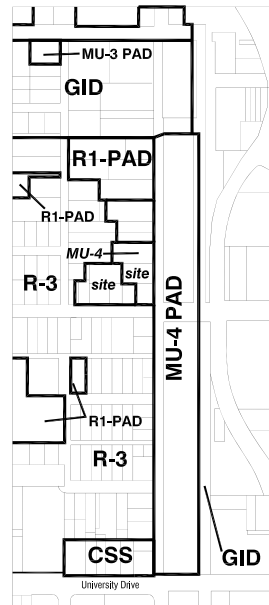
CHECKED BY: JJK

Sheet
A.100
PAD Cover Sheet

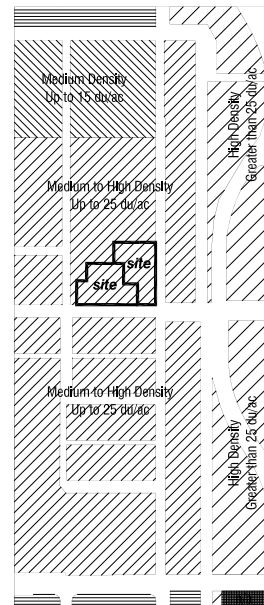
ZONING, GENERAL PLAN AND CONTEXT MAPS



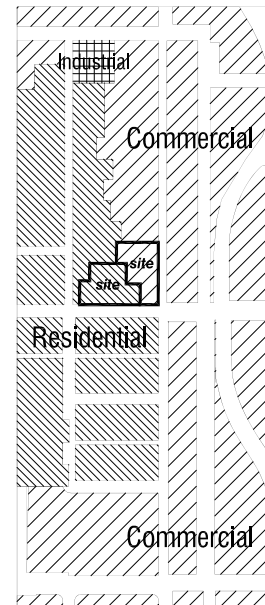
Current Zoning



Projected Density, General Plan 2030



Projected Land Use, General Plan 2030



Context Map



ARCHITEKTON

404 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4837
F 480.894.4838
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

DRAWN BY: JJC

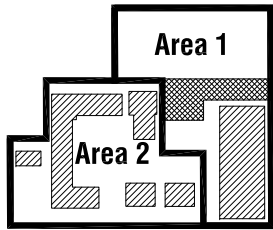
CHECKED BY: JFK

FARMER STUDIOS

Sheet

A.101

Context Plans



SITE KEY

Not to Scale

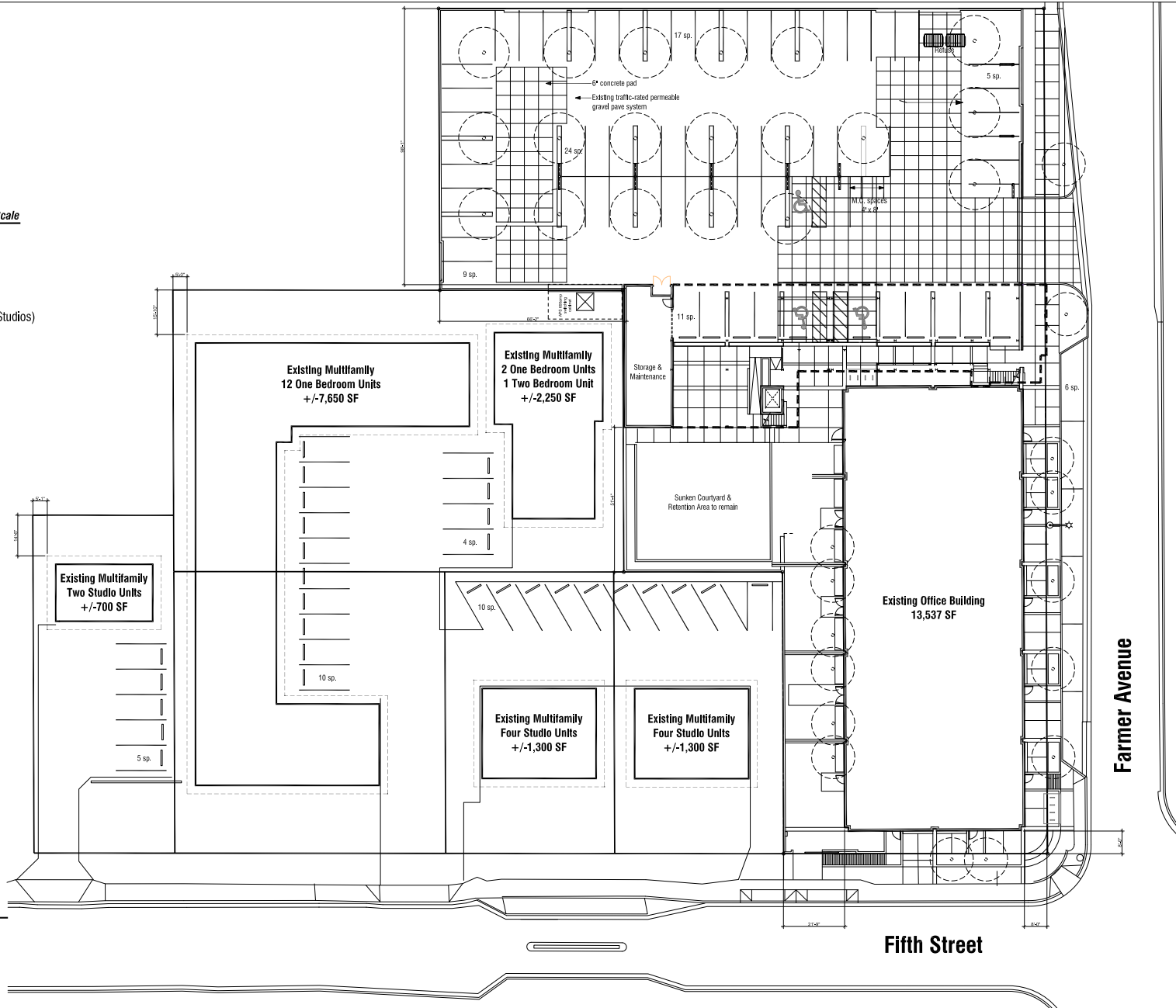
Existing Buildings

Proposed Building

Planned Area Overlay includes Area 1 (Farmer Studios)
and Area 2 (Fifth Street Apartments)

Development Plan Review includes only Area 1

OVERALL SITE PLAN



ARCHITEKTON

404 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4637
F 480.894.4638
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

DRAWN BY: JJC

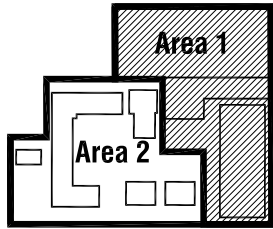
CHECKED BY: JJC

FARMER STUDIOS

Sheet

A.102

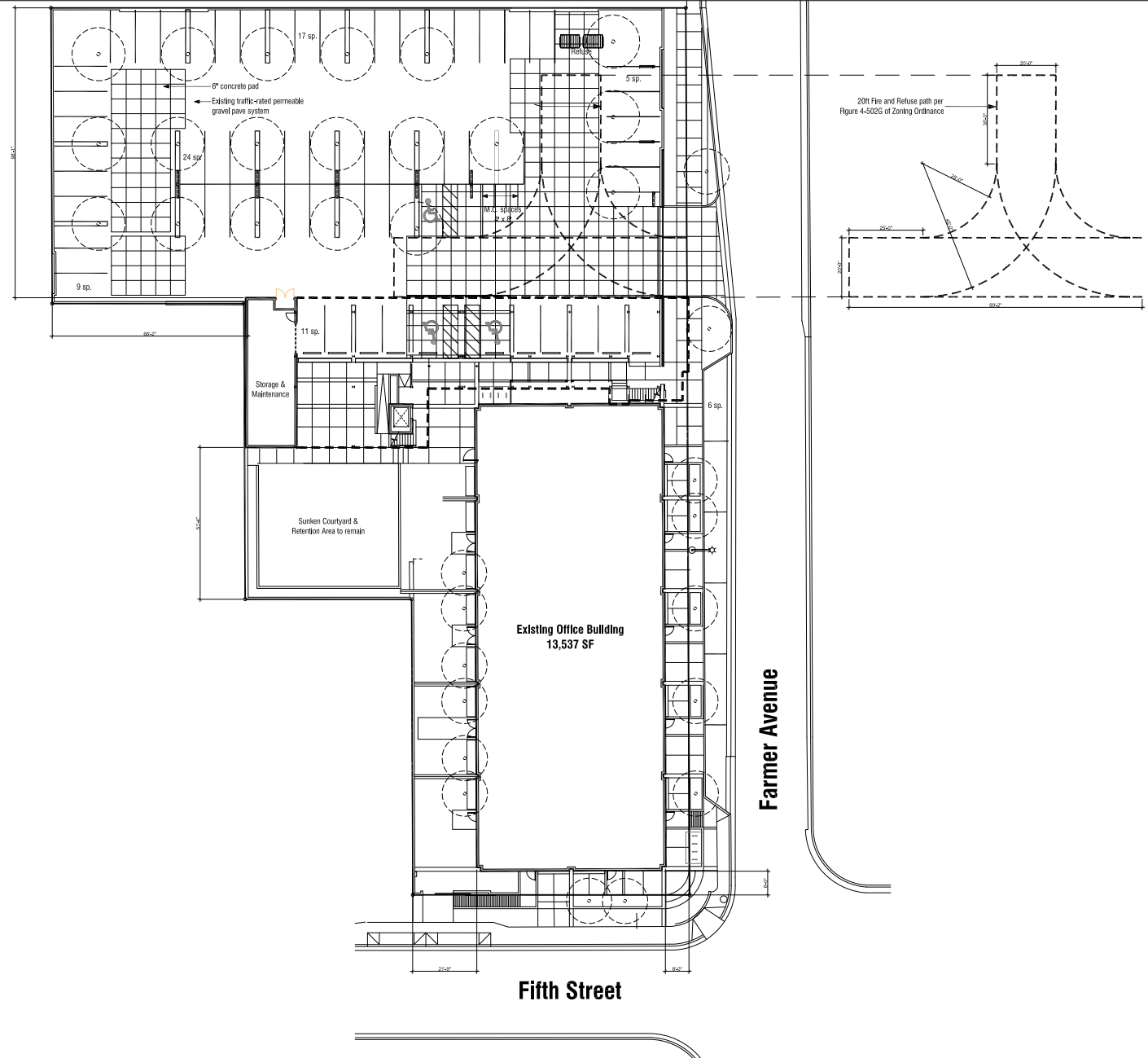
PAD Site Plan



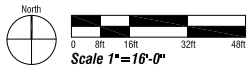
SITE KEY

Not to Scale

Area of Development Plan Review



DPR SITE PLAN



ARCHITEKTON

404 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4837
F 480.894.4838
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan Review

Amended Planned Area Development Standards



DATE ISSUED: 09.27.2011

DRAWN BY: JJK

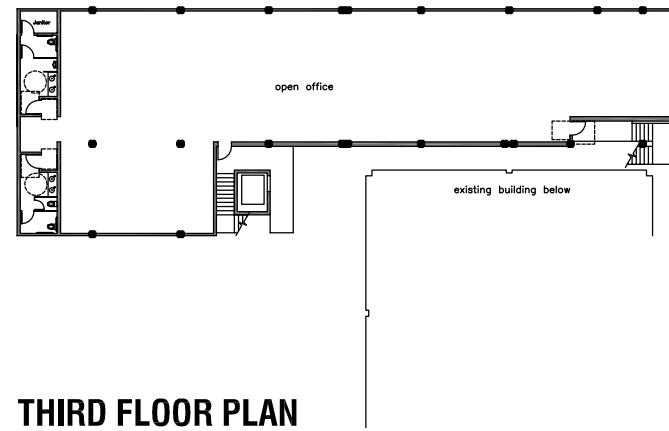
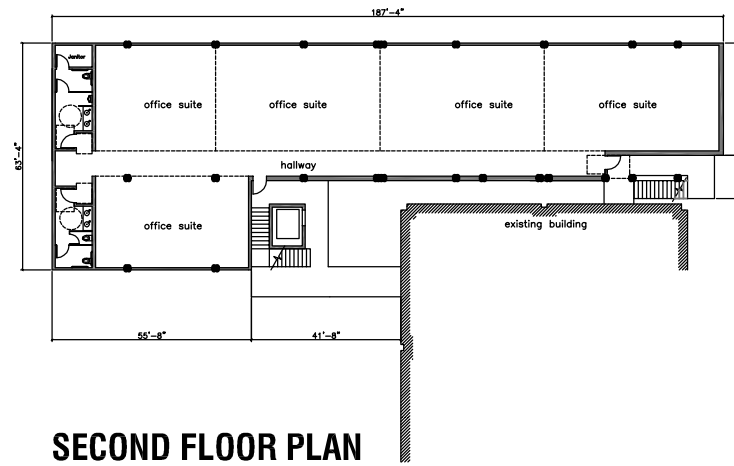
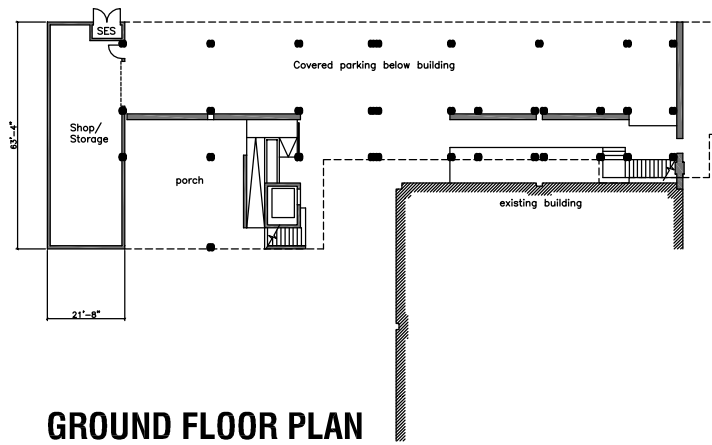
CHECKED BY: JFK

FARMER STUDIOS

Sheet

A.103

DPR Site Plan



ARCHITEKTON

464 S. Farmer Ave., Suite 101
Tampa, AZ 33601
T 480.894.4037
F 480.894.4038
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards

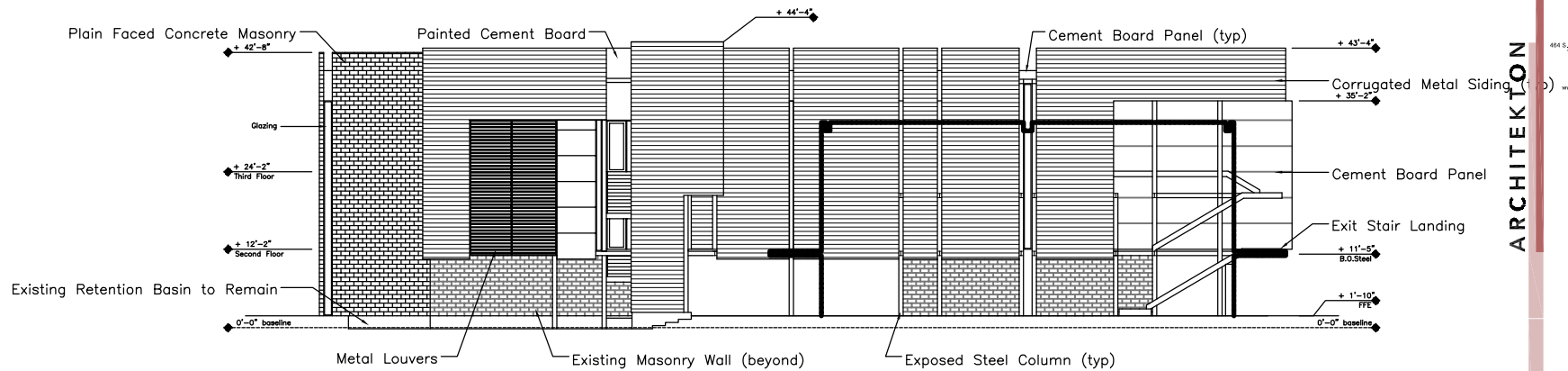


DATE ISSUED: 09.27.2011

DRAWN BY: JJC

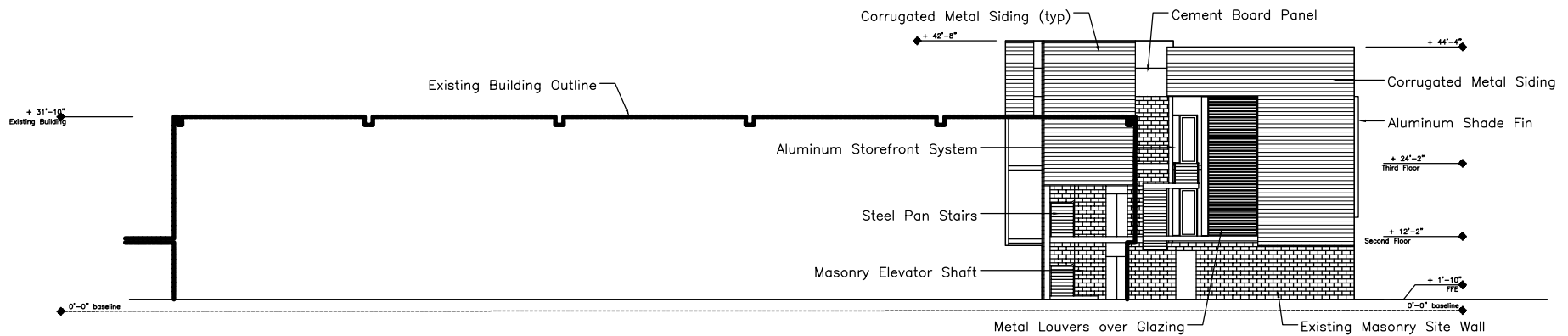
CHECKED BY: JFK

FARMER STUDIOS
Sheet **A.104**
Floor Plans



SOUTH ELEVATION

Existing building dashed in foreground



EAST ELEVATION

Existing building dashed in foreground



ARCHITECTON

464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4037
F 480.894.4038
www.architecton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

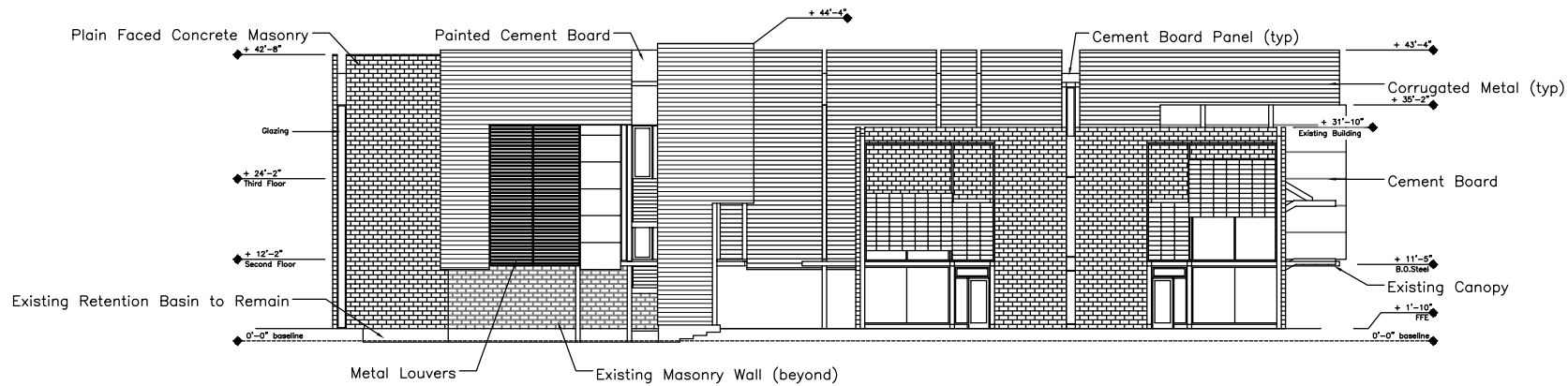
DRAWN BY: EVJAC

CHECKED BY: JFK

FARMER STUDIOS

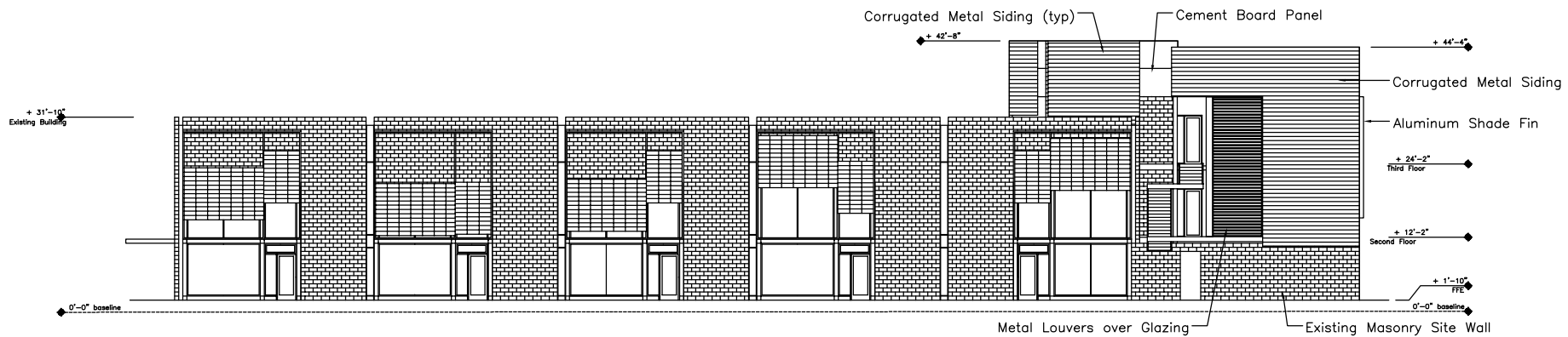
Sheet **A.105**

Elevations



SOUTH ELEVATION

Existing building shown in foreground



EAST ELEVATION

Existing building shown in foreground



ARCHITEKTON

464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4037
F 480.894.4038
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

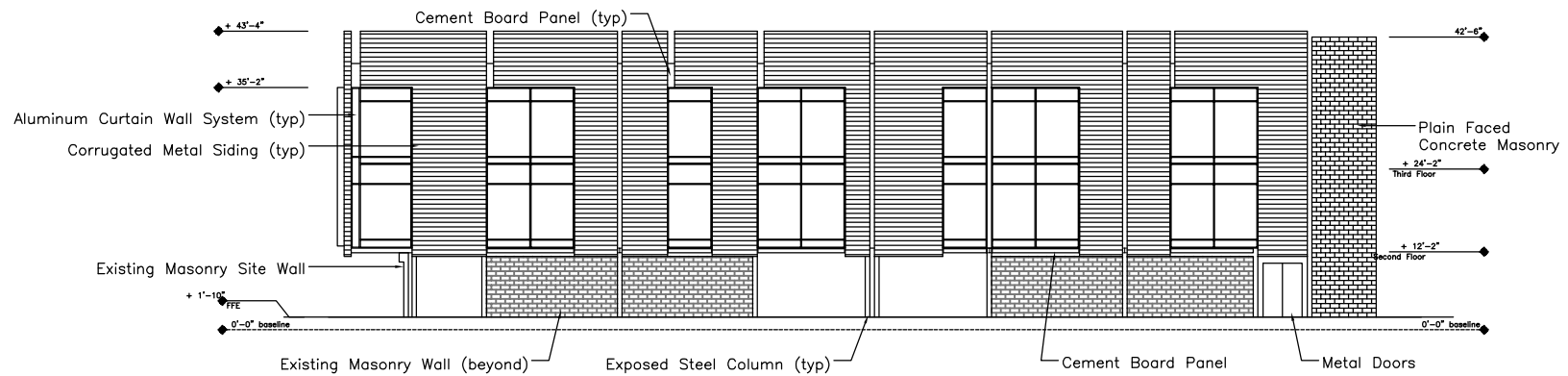
DRAWN BY: EVJAC

CHECKED BY: JFK

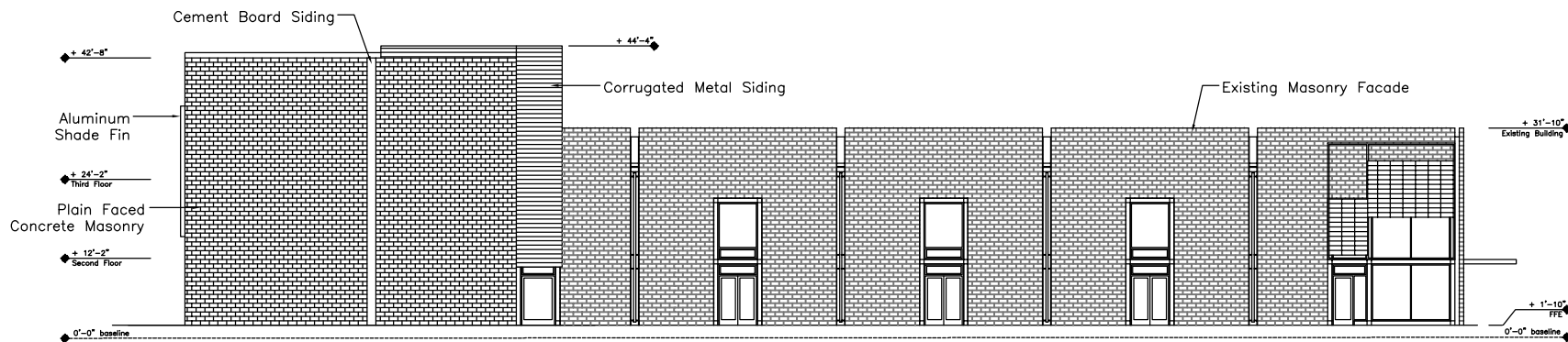
FARMER STUDIOS

Sheet **A.106**

Elevations



NORTH ELEVATION



WEST ELEVATION

Existing building shown in background



ARCHITEKTON

464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T: 480.894.4037
F: 480.894.4038
www.architekton.com

Farmer Studios
Phase II
NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

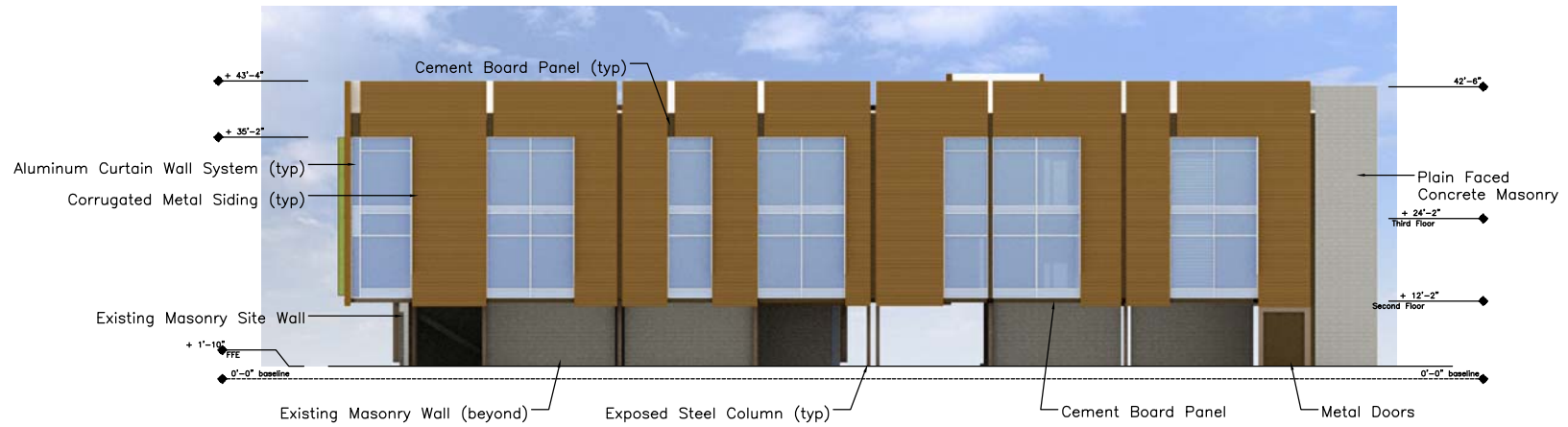
DRAWN BY: EVJAC

CHECKED BY: JFK

FARMER STUDIOS

Sheet **A.107**

Elevations



NORTH ELEVATION



WEST ELEVATION

Existing building shown in background



ARCHITEKTON

464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4037
F 480.894.4038
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards

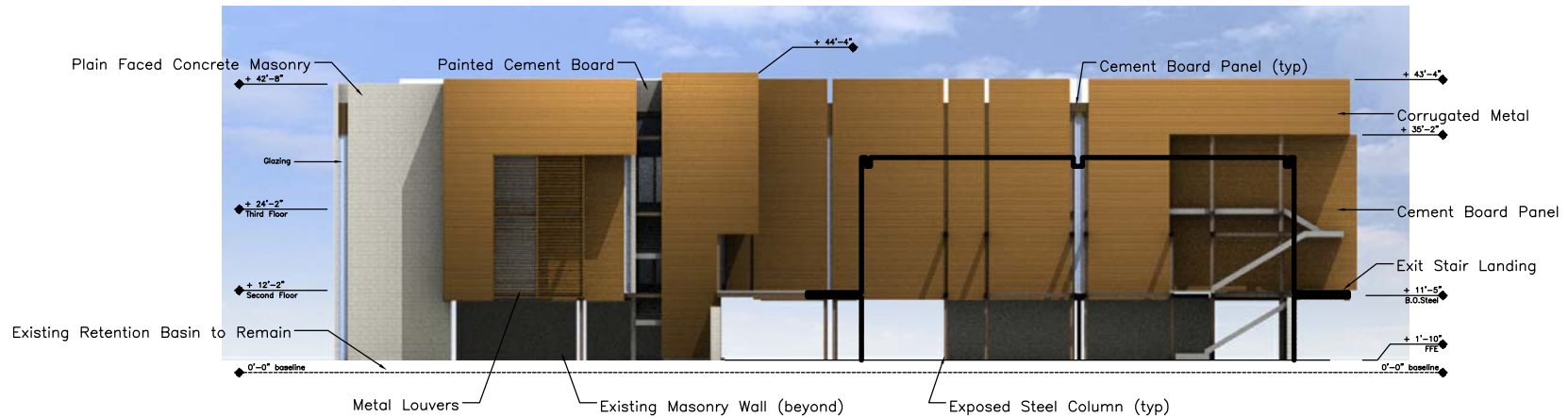


DATE ISSUED: 09.27.2011

DRAWN BY: EVJ/LAC

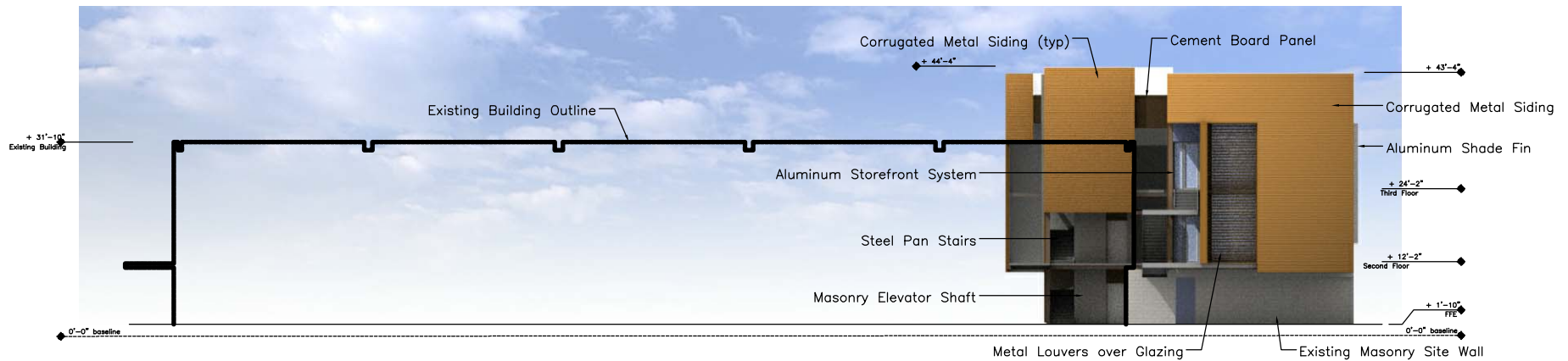
CHECKED BY: JFK

FARMER STUDIOS
Sheet
A.110
Color Elevations



SOUTH ELEVATION

Existing building dashed in foreground



EAST ELEVATION

Existing building dashed in foreground



ARCHITEKTON

464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4037
F 480.894.4038
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

DRAWN BY: EVJ/JAC

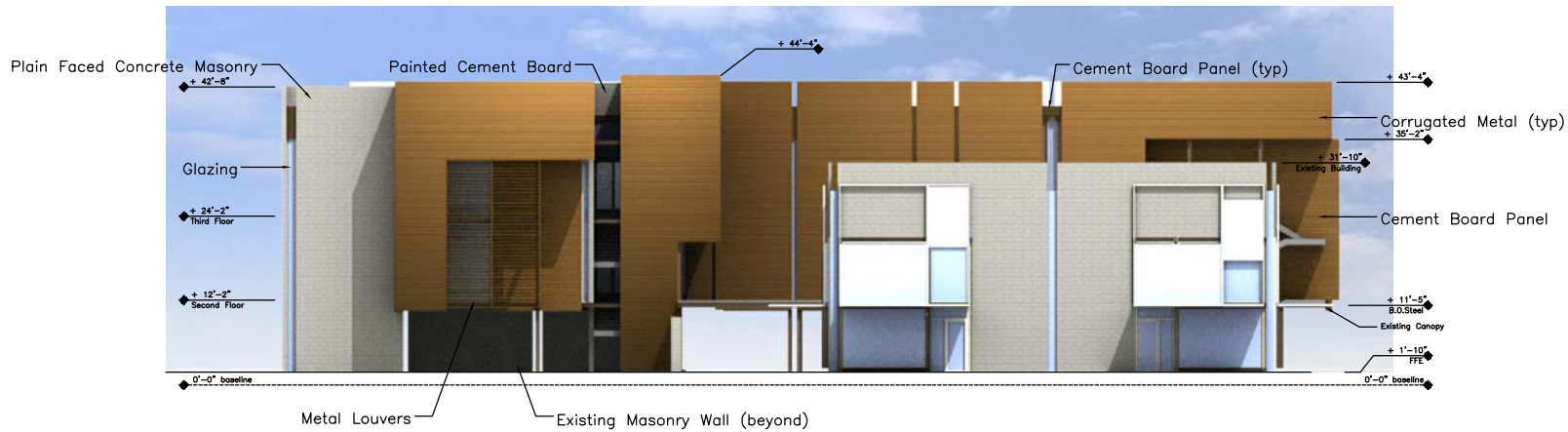
CHECKED BY: JFK

FARMER STUDIOS

Sheet

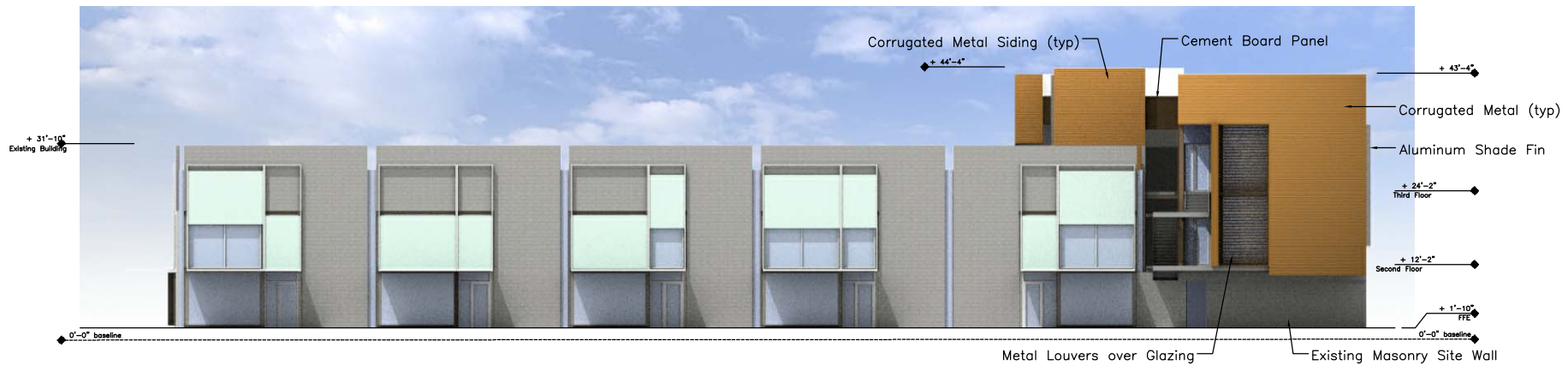
A.108

Color Elevations



SOUTH ELEVATION

Existing building shown in foreground



EAST ELEVATION

Existing building shown in foreground



ARCHITEKTON

464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T 480.894.4037
F 480.894.4038
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue
11114 • DUGU, LLC | 500 Fifth, LLC

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

DRAWN BY: EVJ/JAC

CHECKED BY: JFK

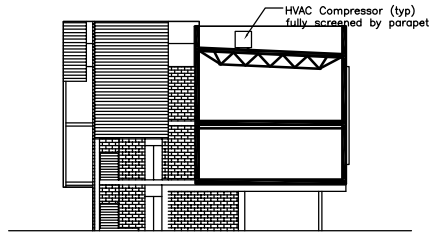
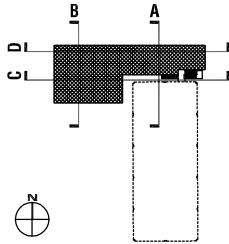
FARMER STUDIOS

Sheet

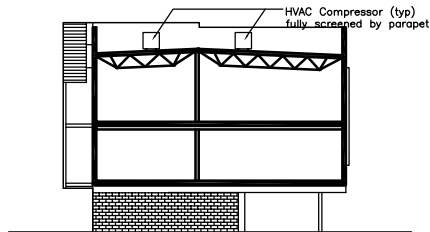
A.109

Color Elevations

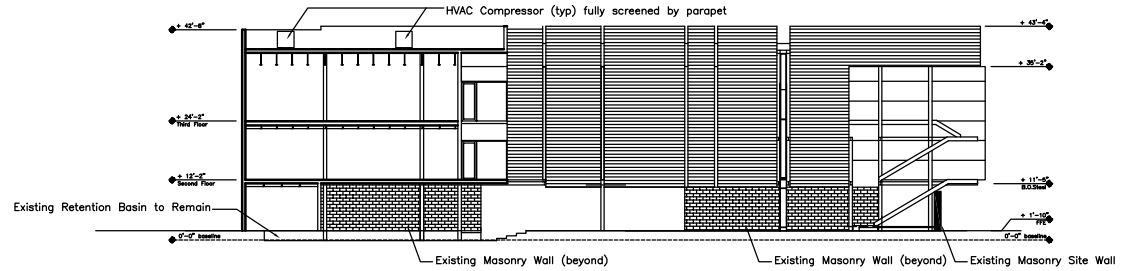
SECTION KEY



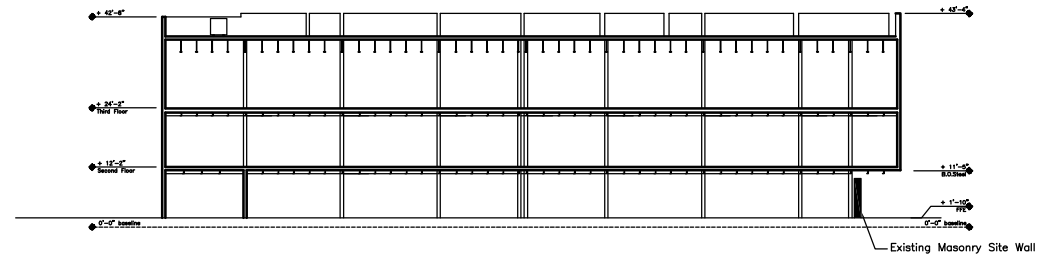
SECTION A



SECTION B



SECTION C



SECTION D

ARCHITEKTON

464 S. Farmer Ave., Suite 101
Tempe, AZ 85281
T: 480.894.4037
F: 480.894.4038
www.architekton.com

Farmer Studios
Phase II NWC Fifth Street & Farmer Avenue

1st Resubmittal

Development Plan
Review

Amended Planned
Area Development
Standards



DATE ISSUED: 09.27.2011

DRAWN BY: JAC

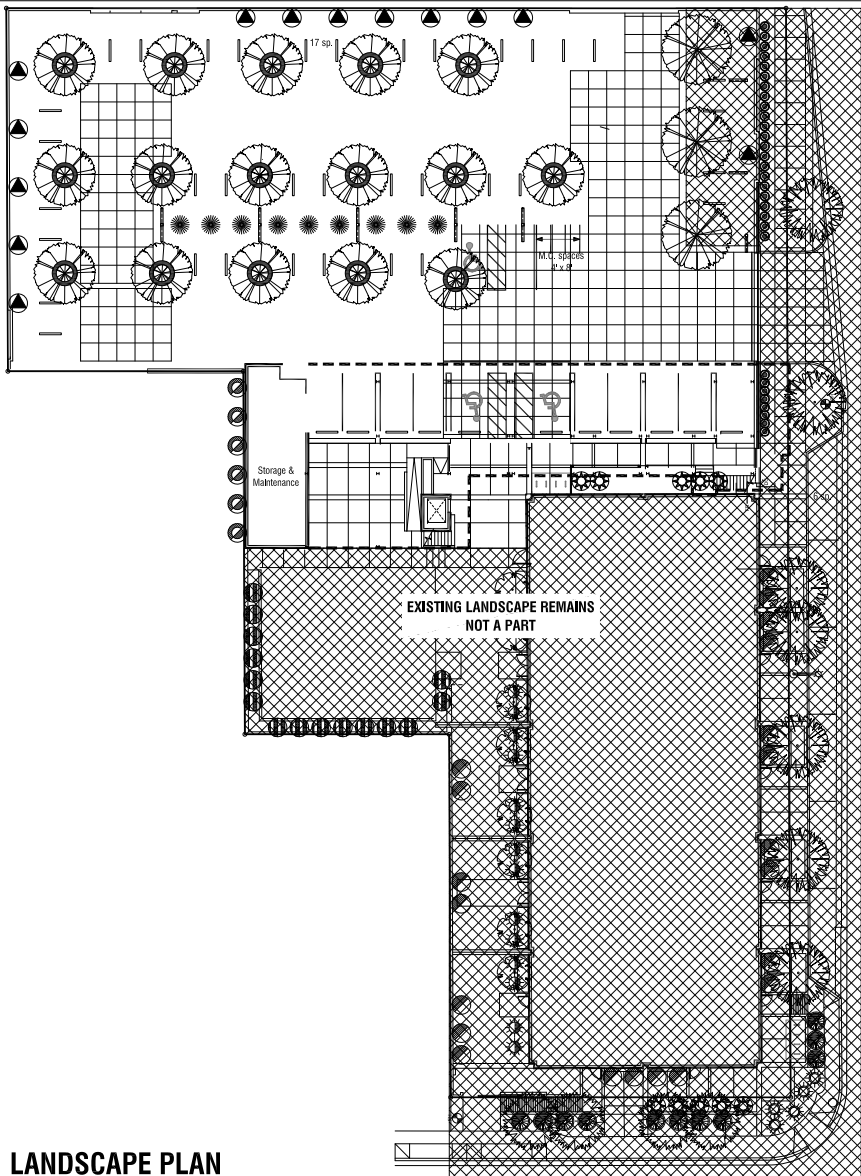
CHECKED BY: JFK

FARMER STUDIOS

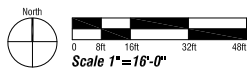
Sheet

A.111

Sections



LANDSCAPE PLAN



PLANT LEGEND

EXISTING TREES TO REMAIN

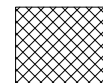
botanical name	common name
Cercidium	Desert Museum Palo Verde
Gleditsia triacanthos 'Inermis'	Shademaker Honeylocust
Quercus macrocarpa x robur	Heritage Oak
Fraxinus velutina	Arizona Ash

PROPOSED TREES

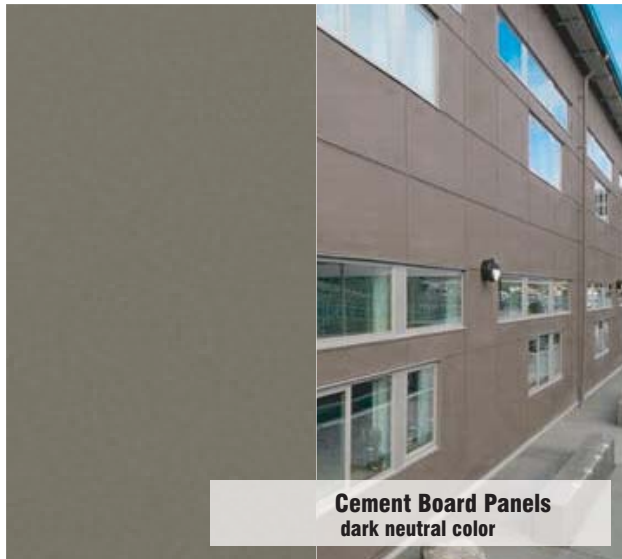
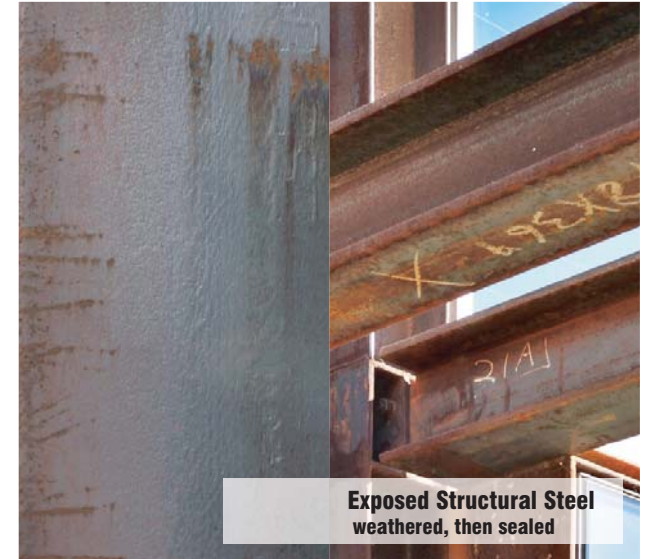
botanical name	common name	size
Cercidium	Desert Museum Palo Verde	24" Box

SHRUBS AND VINES

botanical name	common name	size
Aloe Hybrid 'Blue Elf'	Blue Elf Aloe	5 GAL
Ficus Pumila	Fig Vine	5 GAL
Parthenocissus sp.	Hacienda Creeper	5 GAL
Lantana camara	New Gold Lantana	5 GAL
Bougainvillea spectabilis	Bougainvillea	5 GAL
Bambusa sp.	Giant Bamboo	existing, varies
Agave vilmoriniana	Octopus Agave	existing, varies
Hesperaloe parviflora	Red Yucca	existing, varies
Salvia dorrii	Desert Sage	existing, varies
Dasylistron wheeleri	Desert Spoon	existing, varies



EXISTING LANDSCAPE, NOT A PART



FARMER STUDIOS II

MATERIALS AND COLOR BOARD

The overall palette of the project is designed to build upon the materiality of the existing Farmer Studios building and the neighboring condominium project to the north. Metal and concrete masonry are exposed, while a neutral cement board is used as an infill material. French gray paint is used selectively on the interior of the project, primarily around elevator and stair landings.



October 6, 2011

Ms. Diana Kaminski, Senior Planner
City of Tempe, Planning Division
31 East 5th Street
Tempe, Arizona 85281

Ms. Kaminski,

Thank you for the opportunity to recap the neighborhood outreach efforts we have conducted for the Farmer Studios II project thus far.

Prior to the formal submittal of this project, informal conversations occurred between the project representative and the immediately adjoining landowners to the west and north, Bill Perman and David Frye. Discussions focused on the placement of the new building as well as the development standards and process. Feedback was positive, and both neighbors wished the project well.

On September 6, the project was presented to the monthly meeting of the Riverside & Sunset Neighborhood Associations at the Ladmo Boys & Girls Club. Seven members were in attendance, and questions focused on the history of Architekton in the neighborhood, whether the Fifth Street Apartments would be immediately affected, and whether new parking would be added to the site. Feedback was generally positive, especially in regards to Architekton's previous work (coincidentally, the meeting was held in a building the firm designed) and the original Farmer Studios building. One neighbor indicated he was opposed to the project on the basis that the zero-foot setbacks were "unfair" because he was unable to take advantage of the setbacks on his property. He indicated that he liked the existing Farmer Studios building, but thought the design for Farmer Studios II looked like "doo-do," especially the exposed exterior elevator shaft (he expressed a desire for the elevator to be moved to the interior of the building so that it would not be visible). This person had a few comments critical of the rezoning process in general that were not specifically related to this project. Three other neighbors indicated that they liked the project, and did not express any concerns. Comment cards are attached.

A 16 SF red rezoning notification sign was placed on the project site September 20, 2011 announcing the neighborhood meeting and public hearing dates as well as key project details. An affidavit of sign posting is attached, along with a photo exhibit. Also on that date, notice of the neighborhood meeting was mailed to property owners and tenants within 300 feet of the project site, as well as Homeowner's Associations within 600 feet of the project site. Notice was also provided to two HOAs just outside the project boundary. Complete mailing lists, a copy of the mailing and the affidavit of notification are attached.

No phone calls or emails were received by the applicant in response to the mailing or sign posting prior to the neighborhood meeting. Informal meetings with individual tenants in the existing Farmer Studios building have been ongoing throughout the process. Incidentally, on October 3 information about the project was also posted on the Riverside Sunset neighborhood blog at <http://riversidesunset.wordpress.com/>

The neighborhood meeting for neighbors residing within 300' of the project was held on Wednesday, October 5, 2011 at the project site, 464 South Farmer Avenue. The meeting was held in a second floor conference room where attendees could get a good look at the proposed location for the new building. Approximately 6 interested persons were in attendance along with 3 representatives of the project team and one city staff member. Comments were uniformly positive, and discussion centered mostly on the changes the neighborhood has seen in the past decade, and how it is likely to change in the next decade. Questions specific to the Development Plan Review and PAD applications focused on potential users of the project, materials selection, and whether additional parking would be added. There were also questions as to the project's timeline going forward (hearing dates, when construction might begin and end, etc). A number of attendees had questions about the existing building's layout and design features and were invited on a brief tour. The first attendee arrived at approximately 5:45pm and the last participants left around 7:30pm. The sign in sheet and comment cards are attached.

The project team is committed to providing information about the project to the public, and responding to any concerns that might be expressed. We are excited about the project and we hope that others in the neighborhood share that excitement.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Jason Comer', with a stylized flourish extending from the end.

Jason Comer, LEED-AP
ARCHITEKTON
Applicant

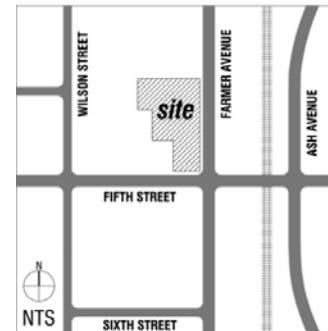
September 20, 2011

Dear Neighbor,

You are cordially invited to attend a neighborhood meeting to learn about a new project at Architekton's Farmer Studios. This informational session will be held on the project site:

6:00pm, Wednesday October 5, 2011
Architekton
464 S Farmer Ave, suite 101
Tempe, Arizona 85281

VICINITY MAP



The applicant is requesting Development Plan Review and Planned Area Development (PAD) Overlay standards to allow a new office building expansion with existing office and multifamily uses within 2.06 acres at 464 S Farmer Avenue in the MU-4 Mixed Use and R-3 Multifamily Residential Districts. A new 3-story office building of approximately 13,000 SF and 50 feet in height along Farmer Avenue is part of this request. The PAD standards include building setbacks of 0 feet along Farmer Avenue, 8 feet along Fifth Street (matching the existing building), and 10 foot building setbacks on the side and rear yards with a stepback where adjacent to other residential uses.

This project has been tentatively scheduled to appear before the Development Review Commission on October 25, 2011 at 6:00pm at Tempe City Hall, City Council chambers, 31 East 5th Street in downtown Tempe.

For additional information, you may contact me (480) 894-4637, or the City of Tempe Planning Department at (480) 350-8331. The project name is *Farmer Studios II*, and the case numbers are DS110799 / PL110287 / PAD11012.

Thank you!



Jason Comer, LEED-AP
ARCHITEKTON



464 S Farmer Ave, Suite 101, Tempe, AZ 85281

T 480 8944637 F 480 8944638

**FARMER STUDIOS II
NEIGHBORHOOD MEETING**

October 5, 2011 - 6:00pm
464 South Farmer Avenue

Name

Contact Information

George Chuberson-Barney	514-516-518 S. Farmer	480-250-8680
Darin Price	720 S ROOSEVELT #9	480 557 - 6435
Jay Barney	420 "F" W. 5th Str.	jtfearson@gmail.com
Neal E. Jones	4450 N. 12th St. #104	602.264.2941



**FARMER STUDIOS II
NEIGHBORHOOD MEETING**

October 5, 2011 - 6:00pm
464 South Farmer Avenue

Your feedback is appreciated!

Name:

DARIN PRICE

Contact info: (optional)

Comments:

NICE PROJECT - FITS IN WELL WITH NEIGHBORHOOD
LOOK & USE.



FARMER STUDIOS II presentation to the
RIVERSIDE & SUNSET NEIGHBORHOOD ASSOCIATIONS

September 6, 2011 - 6:30pm
Ladmo Boys and Girls Club
715 West 5th Street

Your feedback is appreciated!

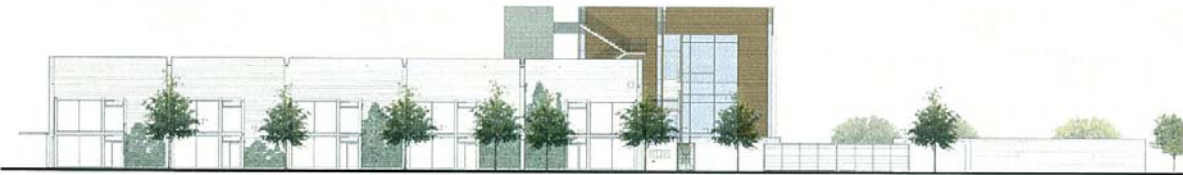
Name:

TODD GREEN

Contact info: (optional)

Comments:

LOOKS LIKE DOO DO!



FARMER STUDIOS II presentation to the
RIVERSIDE & SUNSET NEIGHBORHOOD ASSOCIATIONS

September 6, 2011 - 6:30pm
Ladmo Boys and Girls Club
715 West 5th Street

Your feedback is appreciated!

Name:

Darin Price

Contact info: (optional)

Comments:

I like this project and I feel that it is a good fit for the neighborhood. It will increase the neighborhood appeal, and bring more jobs to this area of Temple.

